

8 TE KOHA

LOT NUMBER	BEDROOMS	BATHROOMS	HOUSE SIZE (m ²)	SECTION SIZE (m ²)
54	2	2	104	464

LOT LOCATION INNER LOOP, FRONTAGE TO ROAD 2

IN PARTNERSHIP WITH

KA URUORA

PROUDLY DEVELOPED BY

 **Raukawa**

TEKOHA-TOKOROA.NZ

PLANNING & ZONING		CONSTRUCTION		CLADDING		FITOUT		
Lot / DP Number	Part lot 15 DP 3320, Part lot 13&14 DP8320, Lot 7&8 DPS 23458	Foundation Type	Cupolex Foundation System	Wall Cladding Type 1	James Hardie Stria	Flooring Type 1		Carpet
Address	Tokoroa School Development Tokoroa	Stud Height	2.4m	Wall Cladding Type 2	70 Series Brick	Flooring Type 2		Vinyl
Territorial Authority	SWDC	Typical Joinery Height	2.1m	Wall Cladding Type 3	N/A	Shower Type		Acrylic
District Plan Zone	Commercial Zone	Typical Internal Door Height	2m	Roof Cladding	Trapezoidal	Water Heating		HWC
Easements	TBC	Rebated Joinery	N/A	Fascia Type	Metal	Space Heating		Heatpump
Relevant Consent Notices								
Resource Consent #	RM230072	Wall Underlay	Thermakraft Watergate Plus	CONSULTANTS				SITE/BUILDING INFORMATION
Wind Zone	High (As per NZS3604)	Roof Underlay	Thermakraft Covertek 401	Topographical Survey	Envelope	Site Area		464.04m ²
Corrosion Zone	B	Wall Insulation	90mm R2.2 Pink Batts Wall	Structural Engineer	N/A	Site Coverage		103.74m ² /22.4%
Earthquake Zone	2	Ceiling Insulation	245mm Pink Batts Superbatts Ceiling	Geotechnical Engineer	Envelope	Floor Area		104m ²
		Floor Insulation	N/A	Truss Manufacturer	ITM	Minimum Floor Level (to u/s floor)		To NZBC E1/AS1
		Wet Area Membrane	N/A					



Artistic impression only, not
to be used for construction

Typology K08 Lot 54	Client: Raukawa Iwi Development Ltd.	 Print In Color	 PRIME DESIGNS CREATIVE FUNCTIONAL ARCHITECTURE	Drawing Set: Working Drawings	All work must comply with relevant NZS & council requirements. All dimensions to be verified on site by contractor prior to commencing work, do not scale from drawings. If there are any inaccuracies with the drawings please contact designer immediately. Copyright for design & drawings retained by Prime Designs New Zealand Limited.	
Tokoroa School Development	Job No: 24114			Drawn By: B Buchanan-Smith		
Tokoroa	Date: 01/07/2025			Scale:		
admin@primedesigns.co.nz	04 528 8405			Drawing Sheet: Project Specifications	Drawing No: 102	



Typology K08 Lot 54

Client: Raukawa Iwi Development Ltd.

Tokoroa School Development

Job No: 24114

Tokoroa

Date: 01/07/2025

admin@primedesigns.co.nz

04 528 8405



PRIME DESIGNS
CREATIVE | FUNCTIONAL | ARCHITECTURE

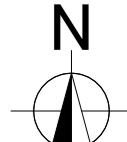
Drawing Set: **Working Drawings**

Drawn By: **B Buchanan-Smith**

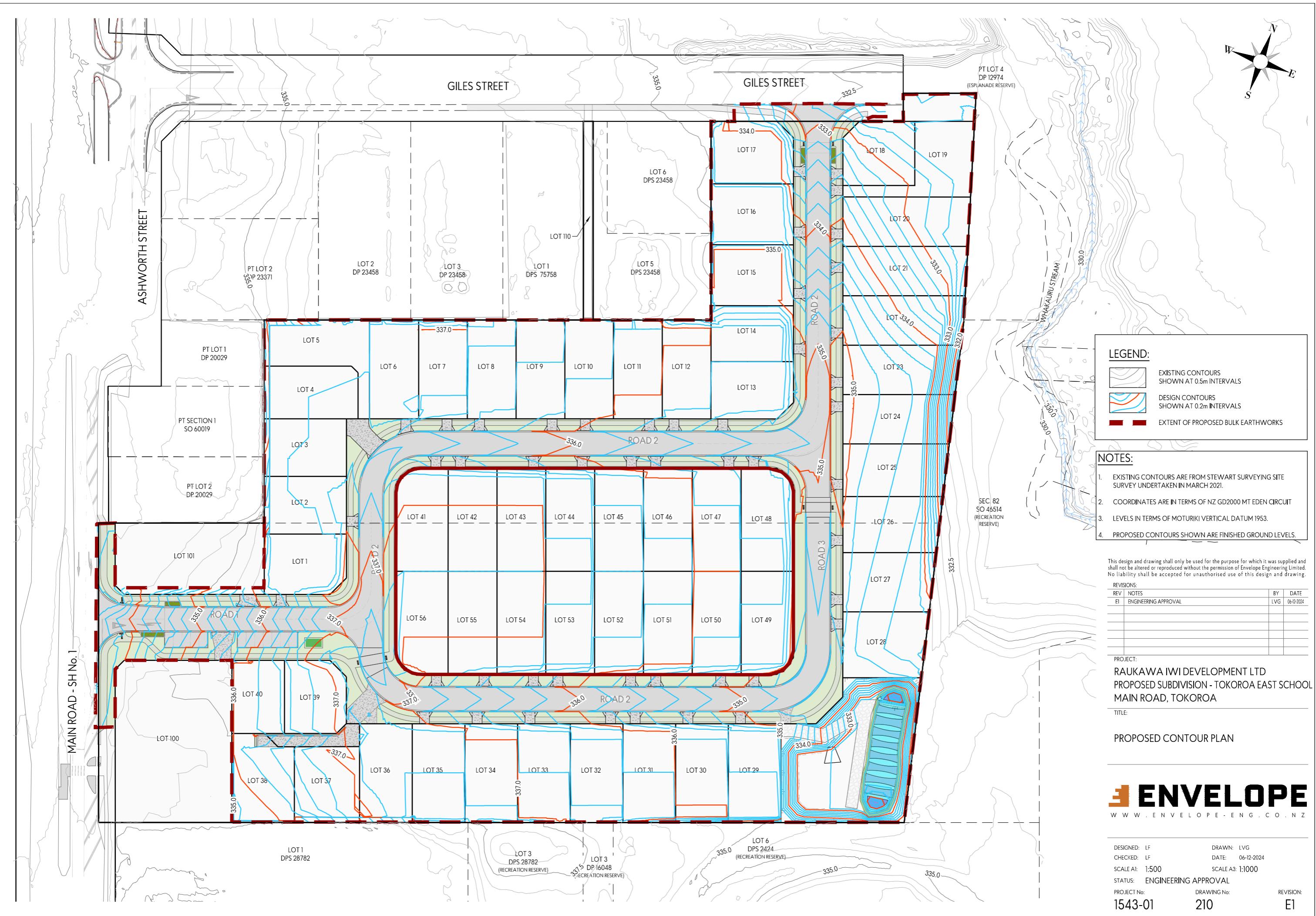
Scale: **1:1000**

Drawing Sheet: **Site Location Plan**

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Drawing No: **103**

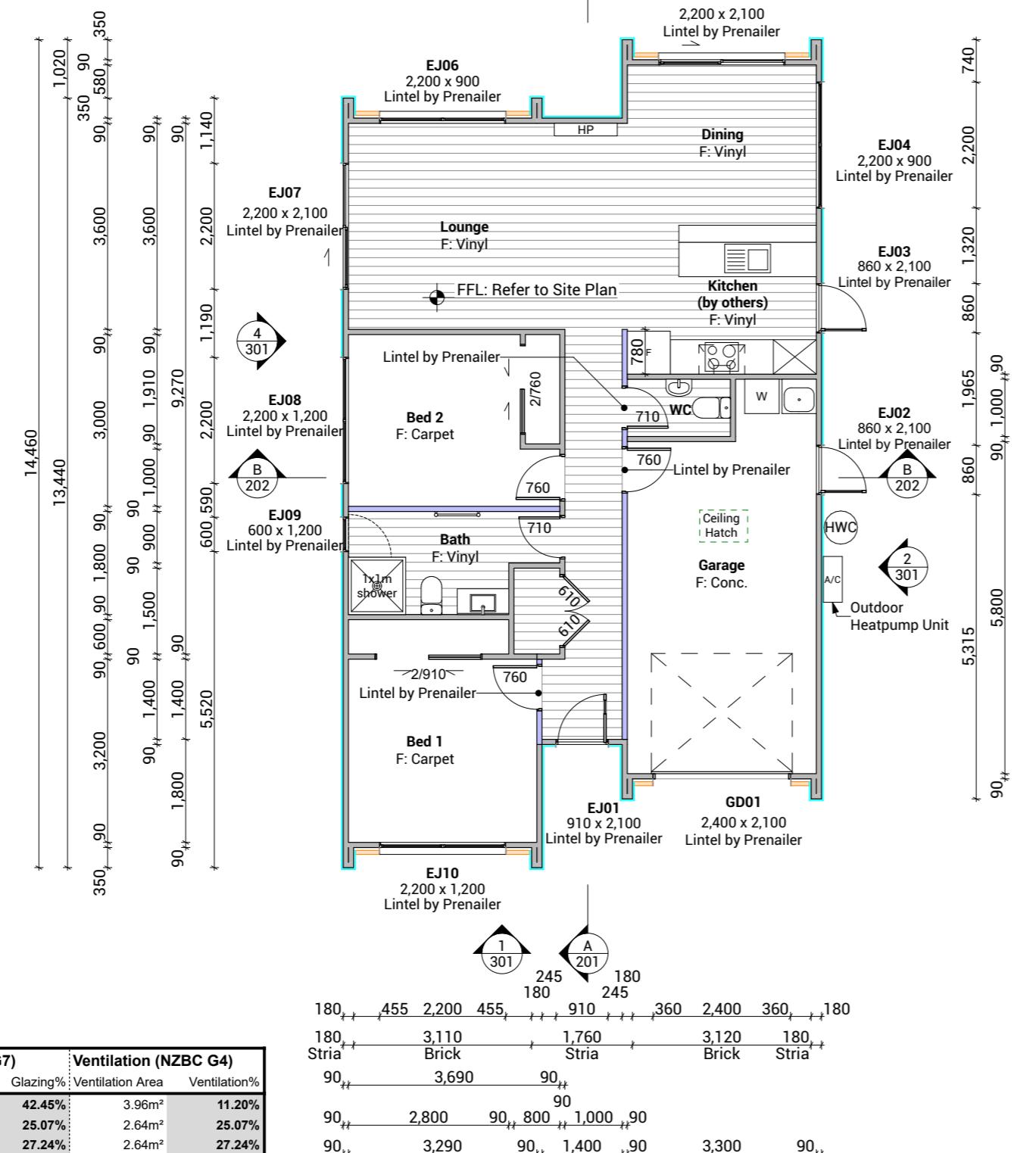


Cladding Legend

- James Hardie Stria
- Brick

Wall Legend

- Internal Load Bearing Wall



Floor Plan Notes

Walls

Wall framing general

Additional 140x35mm top plate to all walls. Nog for all fittings, fixtures, linings, bracing panels & trims
Wall framing height to be 2455mm finished

DPC between bottom plate and concrete slab, Bowmac bottom plate crew bolt (M10x140) to be within 150mm of each end of the plate and be spaced @ 900mm ccs max to comply with NZS3604:2011 clause 7.5.12.2.

All trimming studs to comply with NZS3604:2011 clause 8.5.2.1 unless specified otherwise by pre-nailer

All window and door sizes shown on the plans refer to 'Box' size only and do not allow for packers. Pre-nailer to increase opening width accordingly

Lintels

Refer to truss manufacturers documentation for lintel sizes and fixings.

Wall framing

Load bearing and non-load bearing wall framing to be 90x45mm H1.2 SG8 framing, studs @ 600mm ccs to NZS3604:2011

90x45 dwangs spaced at 800mm ccs. NZS3604:2011 (Check cladding requirements for dwang spacing).

Fixings

Zone B & C fixings and fastenings

Structural fixings except fabricated brackets in a Sheltered environment to be - Hot-dipped galvanized steel

Structural fixings except fabricated brackets in an Exposed environment to be - Type 304 stainless steel

Structural fixing within 600mm of the ground to be - Type 304 stainless steel

All fixings to be suitable for exposure zone C as outlined in NZS3604:2011 section 4.4 "steel fixings and fastenings"

Underlays

Thermakraft Wall underlay

Thermakraft Watergate Plus wall underlay installed to wall framing using 6-8mm staples or 20mm large head galvanized clouts at 300mm ccs horizontally and vertically. 150mm min overlap at joins, all vertical laps must be made over studs. Installed to manufacturers specification. Additionally, install 25mm wide Thermastrap horizontally at 300mm ccs

Insulation

Wall insulation

90mm thick R2.2 Pink Batts Classic wall insulation to all external walls and internal walls between garage and habitable space. No insulation to garage external walls.

Ceiling insulation

245mm thick R6 Pink Superbatts ceiling insulation, ensure a 25mm gap min. between insulation and roof underlay.

Wall Claddings

James Hardie horizontal Stria cladding over 20mm cavity
Horizontal James Hardie Stria wide panel cladding over 45x18mm H3.1 timber cavity battens. Refer to manufacturer's information & Details for fixing and waterproofing requirements. Dwangs @ 800ccs.

Brick veneer over cavity

70 series brick veneer, over 50mm drained cavity and wall underlay. EH wall ties @ 400mm ccs vertically and 600mm ccs horizontally, refer to specification. Dwangs @ 800ccs.

Linings

10mm GIB plasterboard wall lining

Generally, line with 10mm GIB Standard plasterboard (Aqualine to wet areas, installed as per GIB Wet Area Systems specifications and installation manual 2021) stopped for level 4 paint finish (unless otherwise indicated). Refer also specific fitout dwgs & bracing schedule for specific wall linings & requirements.

13mm GIB board ceiling lining (Rondo batten)

Generally, line with 13mm GIB board ceiling with Rondo 310 ceiling battens and 311 clips at 600 ccs fixed to trusses and/or joists. GIB Aqualine to wet areas. Stopped for level 4 finish.

Wall linings adjacent to appliances

CL1.6 G3. Wall linings adjacent to appliances and facilities shall have surfaces that can be easily maintained in a hygienic condition and comply with. Stainless steel, decorative high-pressure laminate, tiles, wallboards with painted or applied impervious coatings or films, are all suitable materials for these surfaces.

Floor Coverings

Slip resistance

Minimum slip resistance co-efficient for level surface between 0.25 and 0.50 acceptable in accordance with NZBC:D1/AS1 Access.

Vinyl Plank Flooring - Avvio

Vinyl plank to be installed over vinyl adhesive in areas noted on floor plan. Where installed in a wet area (including laundry and kitchen), install as per attached manufacturer's documentation and E3/AS1 alternative solution documentation.

Interior Fit-out

Internal doors

All internal door leaf widths as noted on floor plan, all heights 1980mm unless otherwise noted

Typology K08 Lot 54

Client: Raukawa Iwi Development Ltd.

Tokoroa School Development

Job No:

24114

Tokoroa

Date:

01/07/2025

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04 528 8405



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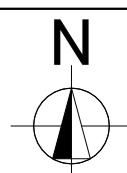
Drawing Set: **Working Drawings**

Drawn By: **B Buchanan-Smith**

Scale: **1:100**

Drawing Sheet: **Floor Plan**

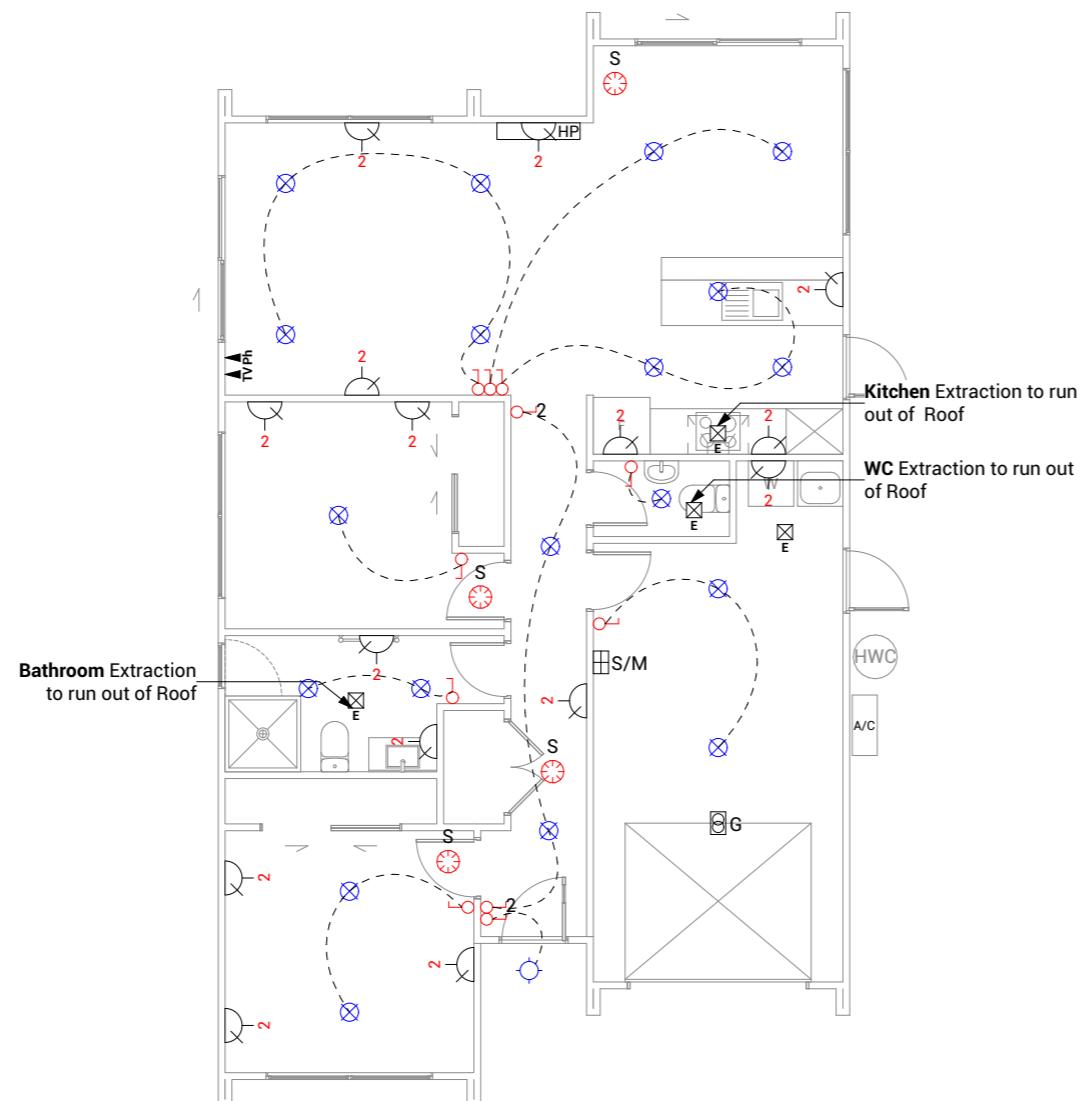
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Drawing No: **107**

Electrical Legend

- ⊕S/M Smart Meter
- ⊕G Garage door motor
- S Smoke detector
- ⊕E Extractor fan
- ⊕ Power point
- ⊕Ph Phone outlet
- ⊕TV Television outlet
- ⊕L Light switch
- 2⊕L Two way light switch
- ⊕ Recessed downlight
- ⊕ Ext. Security Light (Sensored)



Electrical Notes

General electrical notes

Ensure all habitable rooms are fitted with a minimum of one light fixture. All habitable internal spaces are to have a minimum illuminance of 20 lux or a minimal total wattage required per m² of floor area as shown in G8/AS1, Table 1. Lights in the stairwell to provide 100lux at tread level or a total wattage per m² of floor plan area as shown in D1/AS1 table8,

All electrical works to be installed to comply with NZBC G9/AS1, AS/NZS 3000:2018, AS/NZS 3008.1.2:2017, AS/NZS 5000.2:2006

Recessed downlights

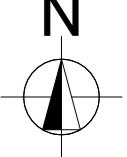
Downlights to be CA135, CA180, IC, or IC-F to comply with AS/NZS 60598.2.2 Amendment A

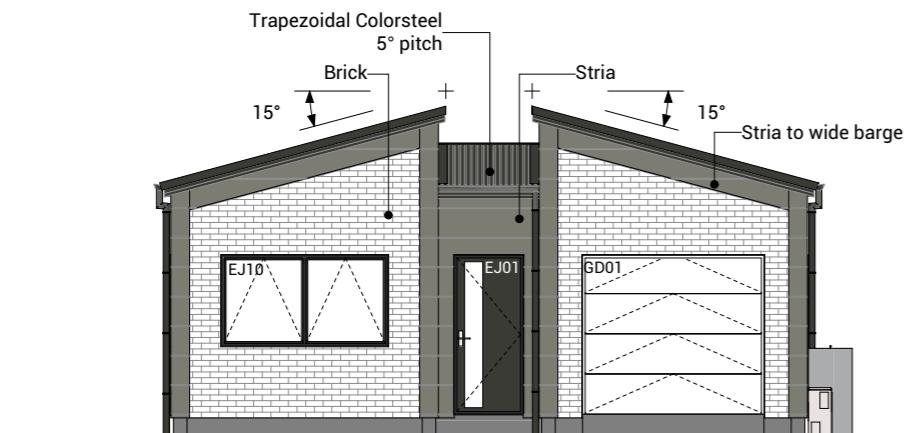
Smoke detectors

Smoke detectors to be installed to comply with NZBC F7/AS1, C/AS1, NZS 4514:2021 and be located on or near the ceiling, in all bedrooms, living spaces, hallways and landings within the building. Where the kitchen is separated from the living space and hallways by doors that can be closed a heat alarm shall be located in the kitchen. There shall be at least one smoke alarm on each level. Where more than one smoke alarm is needed to meet the requirements, these alarms shall be interconnected as per NZS 4514:2021 clause 2.5. Smoke detectors to meet at least one of the following standards: UL 217, CAN/ULC S531, BS EN 14604, ISO 12239 or AS 3786

Mechanical ventilation

Extractor fans to be Manrose XF150 or similar, vent through soffit or wall as per manufacturer's installation instructions. Rangehood to be ducted and vented through soffit or wall. Dryer to be vented separately as per NZBC G4.

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Tokoroa	Date: 01/07/2025		Scale: 1:100		
admin@primedesigns.co.nz	04 528 8405	3 Jupiter Grove, Trentham, Upper Hutt	Drawing Sheet: Electrical Plan		Drawing No: 112



South Elevation

1:100



East Elevation

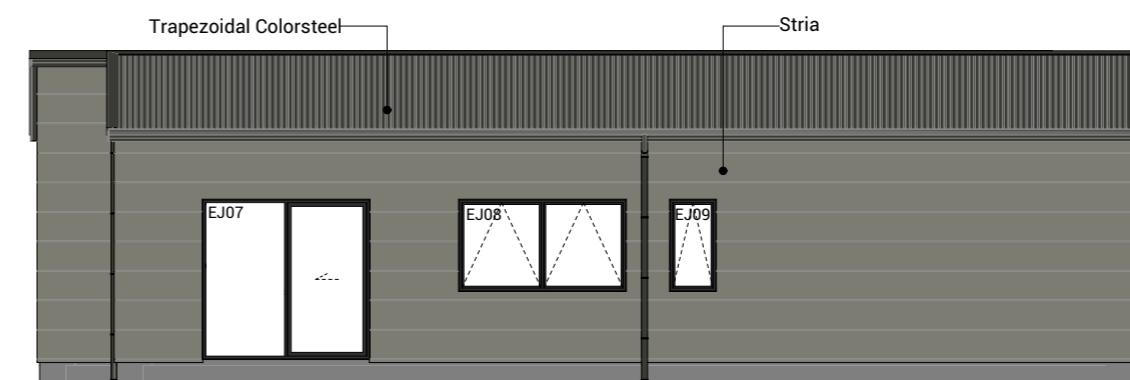
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BUILDING ENVELOPE RISK MATRIX		
All Elevations		
Risk Factor	Risk Severity	Risk Score
Wind zone (per NZS 3604)	High risk	1
Number of storeys	Low risk	0
Roof/wall intersection design	Very high risk	5
Eaves width	Very high risk	5
Envelope complexity	Medium risk	1
Deck design	Low risk	0
Total Risk Score:		12



North Elevation

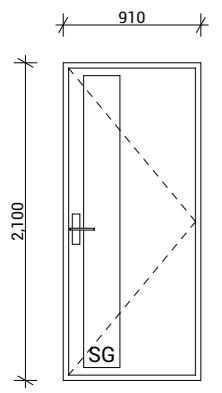
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West Elevation

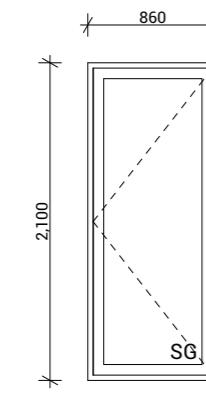
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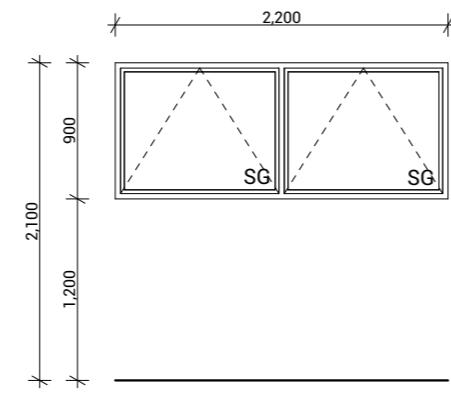
EJ01

Type Entry Door
Material Aluminium, Thermally Broken
Glazing Double, Low E, Grade A Safety



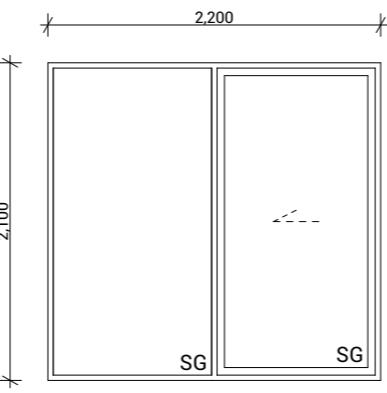
EJ02, EJ03

Type External Hinged Door
Material Aluminium, Thermally Broken
Glazing Double, Low E, Grade A Safety



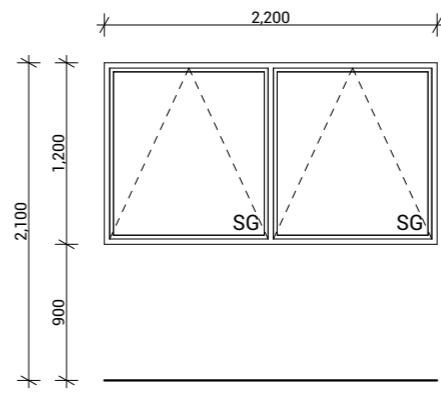
EJ04, EJ06

Type Awning Window
Material Aluminium, Thermally Broken
Glazing Double, Low E



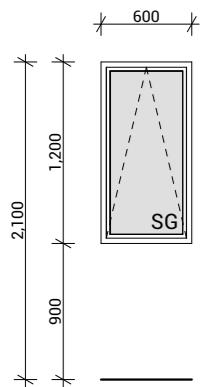
EJ05, EJ07

Type Sliding Door With Fixed Window
Material Aluminium, Thermally Broken
Glazing Double, Low E, Grade A Safety



EJ08, EJ10

Type Awning Window
Material Aluminium, Thermally Broken
Glazing Double, Low E



EJ09

Type Awning Window
Material Aluminium, Thermally Broken
Glazing Double, Low E, Obscured, Grade A Safety

Joinery Notes

General joinery notes

All dimensions to be checked on site prior to fabrication

Windows & doors viewed from exterior

Window & door supplier is responsible for ensuring that all components fit the structure and opening size

All windows & doors to be installed in accordance with construction details in drawing set

Aluminium joinery

Selected colour powder-coated thermally broken aluminium joinery. All head, jamb and sill liners to be 20mm H3.1 timber, painted

Glazing

Glazing weight to comply with NZS4223.

Glass to be Low E with a U value of 1.1.

Double Pane with argon gas.

Flashings and flexible flashing tape

All flashings and flashing tape to be installed to comply with NZBC E2/AS1 and manufacturer's specification. Do not fix through flashings unless otherwise specifically shown in details

Window and door opening widths

All window and door sizes shown on the plan refer to 'Box' size only and do not allow for packers. pre-nailer to increase opening width accordingly

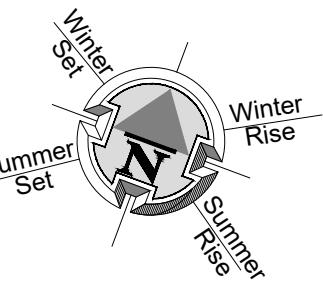
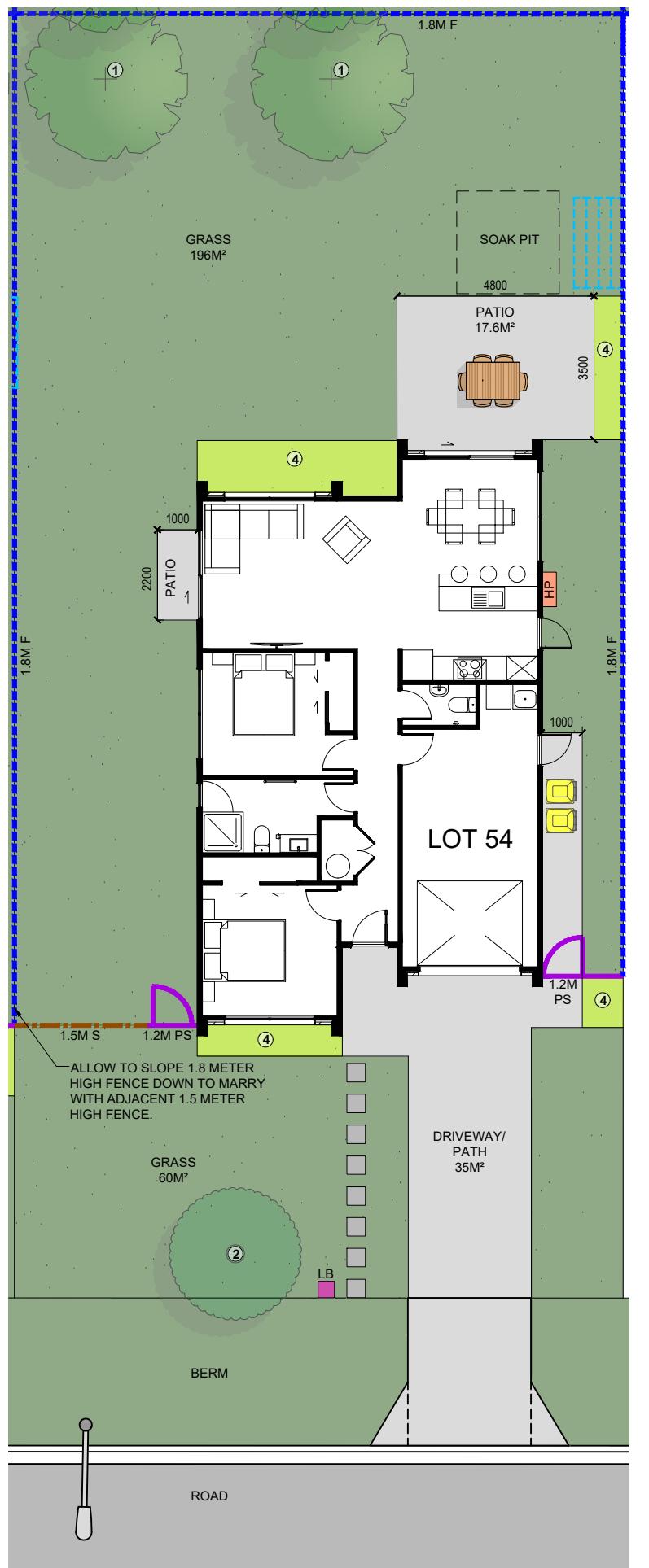
Reveal Depths

Joinery manufacturer to check reveal depths to suit cladding system, wall underlay, wall framing & interior lining thickness.

Window Restrictors

Place restrictor stays to all openable windows with sills within 760mm of floor level where a fall greater than 1m is possible from FFL to ground.

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Tokoroa	Date: 01/07/2025		Scale: 1:50	
admin@primedesigns.co.nz	04 528 8405		Drawing Sheet: Window & Door Schedule	Drawing No: 501



LEGEND

	KARAEHE - GRASS
	RAIMA- CONCRETE. BRUSH FINISH
	ROAD. FINISH BY OTHERS
	KOWHATU- STONES (PERMEABLE)
 1	TYPE 1 FRUIT TREE READ IN CONJUNCTION WITH PLANTING PALETTE
 2	TYPE 2 SPECIMEN TREE READ IN CONJUNCTION WITH PLANTING PALETTE
 3	HEDGE PLANTING. READ IN CONJUNCTION WITH PLANTING PALETTE
 4	LOW PLANTING. READ IN CONJUNCTION WITH PLANTING PALETTE
	PAVERS (SHOWN INDICATIVELY)
1.8M F	1.8M HIGH ROUGH SAWN CLOSED BOARDED TIMBER FENCE
1.8M OS	1.8m high timber batten fence with gaps for 50% visually permeability
1.5M S	1.5M HIGH TIMBER BATTEN FENCE
 1.2M PS	1.2M HIGH POOL STYLE GATE
1.2M PS	1.2M HIGH POOL STYLE FENCE
EX F	EXISTING FENCE. REFER NOTES FOR DETAILS
RW	RETAINING WALL (INDICATIVE. REFER ENGINEERING DOCUMENTATION FOR DETAILS).
HP	EXTERIOR HEAT PUMP UNIT. REFER ARCHITECTURAL DRAWINGS FOR DETAILS. ELECTRICIAN TO CONFIRM LOCATION ON SITE.
	IPUPARA/ HANGARUA - SERVICE AREA FOR RUBBISH/ RECYCLING BINS
LB	POUAKA RETA- LETTERBOX. MAIL SLOT 0.9M – 1M FROM THE GROUND. TOP OF LETTERBOX NOT TO EXCEED 1M TO ENSURE NO OBSTRUCTIONS TO VISIBILITY FROM DRIVEWAYS.
#	UNIT NUMBER
	WASHING LINE - RETRACTABLE OR FOLD DOWN, FIXED TO FENCE OR POSTS.
2000  5500	HATCHED AREA TO BE KEPT CLEAR OF OBSTRUCTIONS TO VISIBILITY AS PER AS/NZS 2890.1 (PLANTING/ LETTERBOX/ FENCE ETC TO BE 1.0M HIGH MAXIMUM).
SOAK PIT	SOAK PIT. REFER TO DOCUMENTATION BY OTHERS FOR ALL DETAILS.

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& SITE DRAINAGE, LANDSCAPE PLANS ARE INDICATIVE AND ARE SUBJECT TO CHANGE.
HOW TO CONFIRM ALL LAYOUTS BEFORE CONSTRUCTION COMMENCES. FLOOR PLANS AND
SITE PLANS SUPPLIED BY OTHERS, WE DO NOT TAKE LIABILITY FOR ITS ACCURACY.

TOKOROA EAST SCHOOL SITE
MAIN ROAD, TOKOROA

FOR COUNCIL

LANDSCAPE PLAN

REV: 3 DATE: 24/07/2025

SHEET No.

SCALES (A3):

L1.54