

TE KOHA

LOT NUMBER

54

BEDROOMS

2

BATHROOMS

2

HOUSE SIZE (m²)

104

SECTION SIZE (m²)

464

LOT LOCATION INNER LOOP, FRONTAGE TO ROAD 2

IN PARTNERSHIP WITH
KA URUORA

PROUDLY DEVELOPED BY
 **Raukawa**

TEKOHA-TOKOROA.NZ

PLANNING & ZONING		CONSTRUCTION		CLADDING		FITOUT	
Lot / DP Number	Part lot 15 DP 3320, Part lot 13&14 DP8320, Lot 7&8 DPS 23458	Foundation Type	Cupolex Foundation System	Wall Cladding Type 1	James Hardie Stria	Flooring Type 1	Carpet
Address	Tokoroa School Development Tokoroa	Stud Height	2.4m	Wall Cladding Type 2	70 Series Brick	Flooring Type 2	Vinyl
Territorial Authority	SWDC	Typical Joinery Height	2.1m	Wall Cladding Type 3	N/A	Shower Type	Acyrllic
District Plan Zone	Commercial Zone	Typical Internal Door Height	2m	Roof Cladding	Trapezoidal	Water Heating	HWC
Easements	TBC	Rebated Joinery	N/A	Fascia Type	Metal	Space Heating	Heatpump
Relevant Consent Notices	TBC	Wall Underlay	Thermakraft Watergate Plus	CONSULTANTS		SITE/BUILDING INFORMATION	
Resource Consent #	RM230072	Roof Underlay	Thermakraft Covertex 401				
Wind Zone	High (As per NZS3604)	Wall Insulation	90mm R2.2 Pink Batts Wall				
Corrosion Zone	B	Ceiling Insulation	245mm Pink Batts Superbatts Ceiling				
Earthquake Zone	2	Floor Insulation	N/A	Topographical Survey	Envelope	Site Area	464.04m ²
		Wet Area Membrane	N/A	Structural Engineer	N/A	Site Coverage	103.74m ² /22.4%
				Geotechnical Engineer	Envelope	Floor Area	104m ²
				Truss Manufacturer	ITM	Minimum Floor Level (to u/s floor)	To NZBC E1/AS1



Typology K08 Lot 54		Client: Raukawa Iwi Development Ltd.	 Print In Color		Drawing Set: Working Drawings	All work must comply with relevant NZS & council requirements. All dimensions to be verified on site by contractor prior to commencing work, do not scale from drawings. If there are any inaccuracies with the drawings please contact designer immediately. Copyright for design & drawings retained by Prime Designs New Zealand Limited.
Tokoroa School Development		Job No: 24114			Drawn By: B Buchanan-Smith	
Tokoroa		Date: 01/07/2025			Scale:	
admin@primedesigns.co.nz		04 528 8405	3 Jupiter Grove, Trentham, Upper Hutt		Drawing Sheet: Project Specifications	



Typology K08 Lot 54 Client: Raukawa Iwi Development Ltd.

Tokoroa School Development Job No: 24114

Tokoroa Date: 01/07/2025

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Drawing Set: Working Drawings

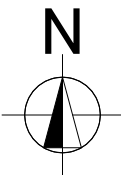
Drawn By: B Buchanan-Smith

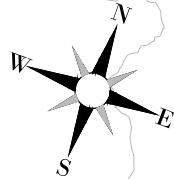
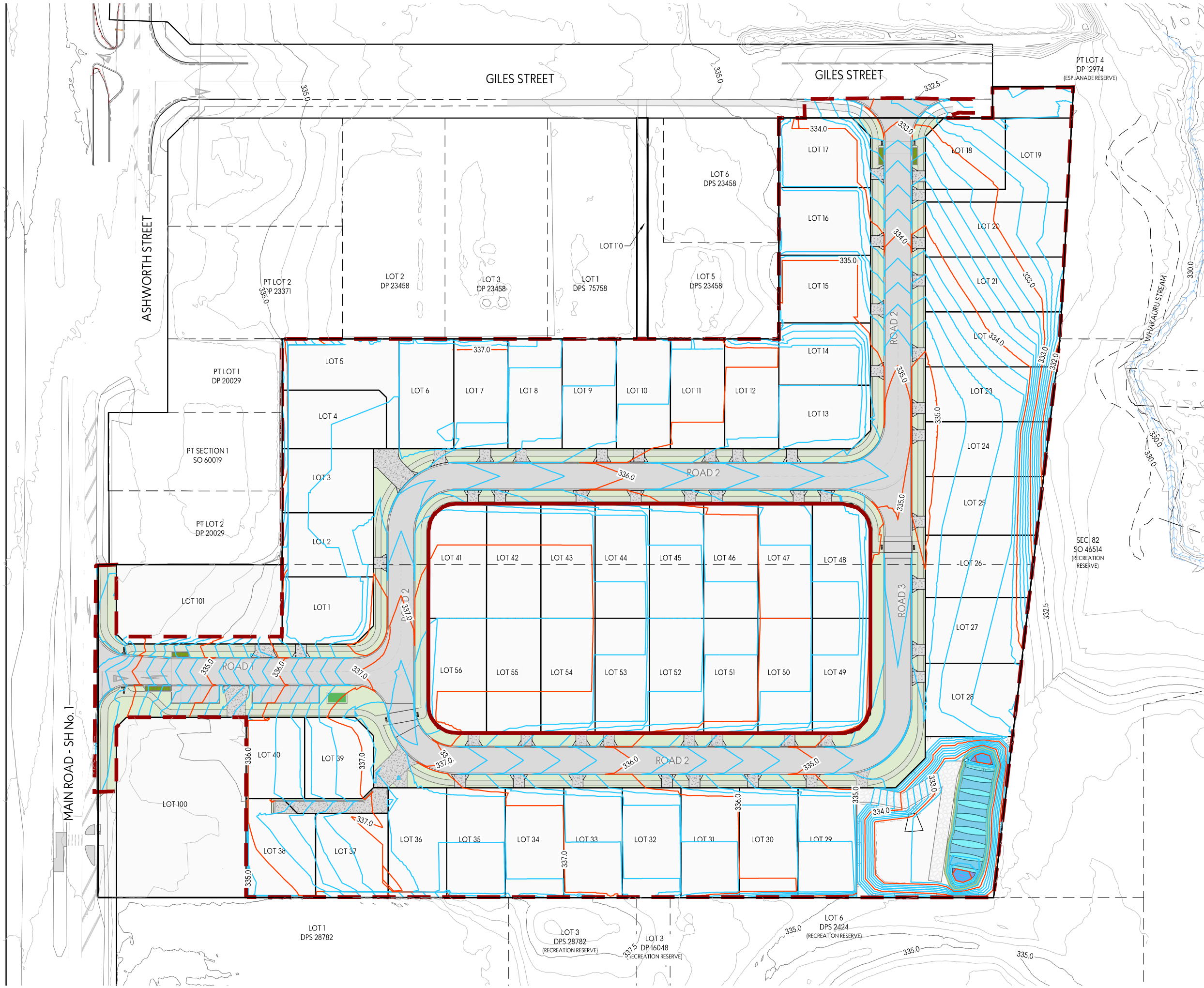
Scale: 1:1000

Drawing Sheet: Site Location Plan

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Drawing No: 103





LEGEND:

- EXISTING CONTOURS
SHOWN AT 0.5m INTERVALS
- DESIGN CONTOURS
SHOWN AT 0.2m INTERVALS
- EXTENT OF PROPOSED BULK EARTHWORKS

NOTES:

- EXISTING CONTOURS ARE FROM STEWART SURVEYING SITE SURVEY UNDERTAKEN IN MARCH 2021.
- COORDINATES ARE IN TERMS OF NZ GD2000 MT EDEN CIRCUIT
- LEVELS IN TERMS OF MOTURIKI VERTICAL DATUM 1953.
- PROPOSED CONTOURS SHOWN ARE FINISHED GROUND LEVELS.

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REVISIONS:			BY	DATE
REV	NOTES			
E1	ENGINEERING APPROVAL		LVG	06-12-2024

PROJECT:
RAUKAWA IWI DEVELOPMENT LTD
PROPOSED SUBDIVISION - TOKOROA EAST SCHOOL
MAIN ROAD, TOKOROA

TITLE:

PROPOSED CONTOUR PLAN



DESIGNED: LF	DRAWN: LVG	
CHECKED: LF	DATE: 06-12-2024	
SCALE A1: 1:500	SCALE A3: 1:1000	
STATUS: ENGINEERING APPROVAL		
PROJECT No: 1543-01	DRAWING No: 210	REVISION: E1

Cladding Legend

- James Hardie Stria
- Brick

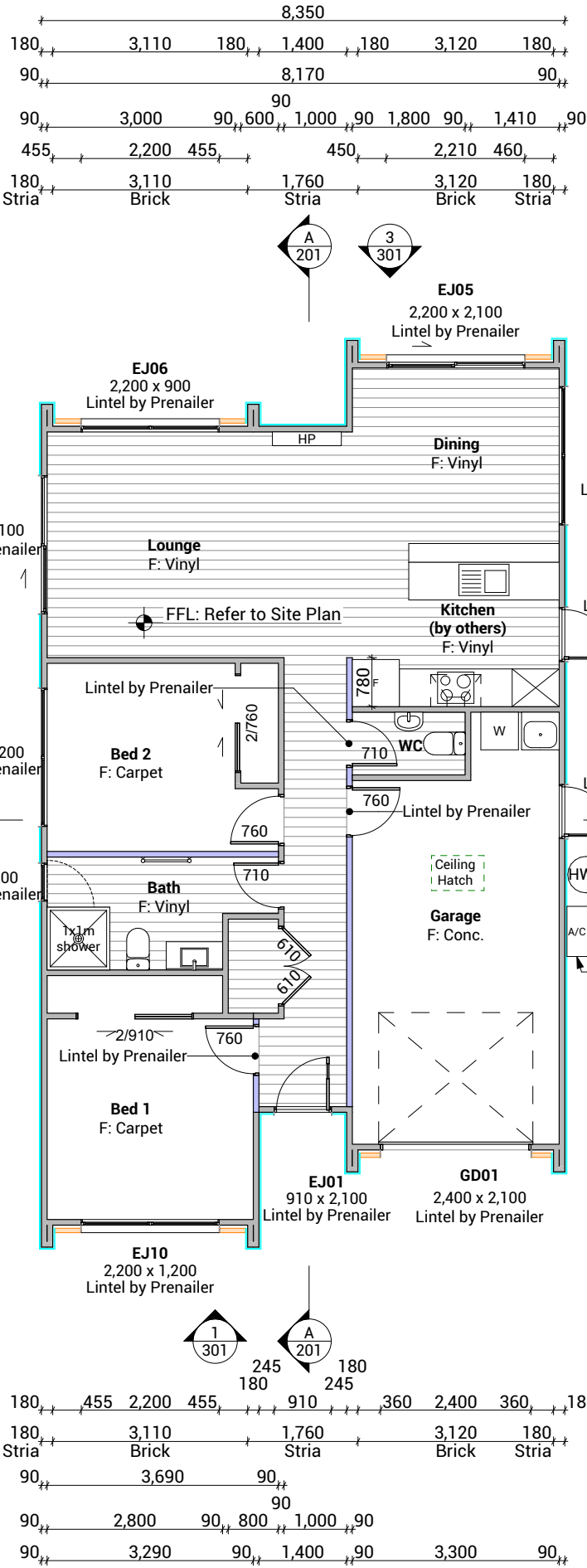
Wall Legend

- Internal Load Bearing Wall

Brick Veneer Lintels	
GD01	80x80x80 L
EJ05	80x80x80 L
EJ06	80x80x80 L
EJ10	80x80x80 L
Refer to NZBC E2/AS1 section 9.2.9	

Total Floor Area	104
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Space	Glazing (NZBC G7)		Ventilation (NZBC G4)	
	Floor Area	Glazing Area	Glazing%	Ventilation Area
Living Space	35.35m²	15.006m²	42.45%	3.96m²
Bed 1	10.53m²	2.64m²	25.07%	2.64m²
Bed 2	9.69m²	2.64m²	27.24%	2.64m²



Floor Plan Notes

Walls

Wall framing general
Additional 140x35mm top plate to all walls. Nog for all fittings, fixtures, linings, bracing panels & trims
Wall framing height to be 2455mm finished

DPC between bottom plate and concrete slab, Bowmac bottom plate crew bolt (M10x140) to be within 150mm of each end of the plate and be spaced @ 900mm crs max to comply with NZS3604:2011 clause 7.5.12.2.

All trimming studs to comply with NZS3604:2011 clause 8.5.2.1 unless specified otherwise by pre-nailer

All window and door sizes shown on the plans refer to 'Box' size only and do not allow for packers. Pre-nailer to increase opening width accordingly

Lintels
Refer to truss manufacturers documentation for lintel sizes and fixings.

Wall framing
Load bearing and non-load bearing wall framing to be 90x45mm H1.2 SG8 framing, studs @ 600mm crs to NZS3604:2011
90x45 dwangs spaced at 800mm crs. NZS3604:2011 (Check cladding requirements for dwang spacing).

Fixings

Zone B & C fixings and fastenings
Structural fixings except fabricated brackets in a Sheltered environment to be - Hot-dipped galvanized steel
Structural fixings except fabricated brackets in an Exposed environment to be - Type 304 stainless steel
Structural fixing within 600mm of the ground to be - Type 304 stainless steel
All fixings to be suitable for exposure zone C as outlined in NZS3604:2011 section 4.4 "steel fixings and fastenings"

Underlays

Thermakraft Wall underlay
Thermakraft Watergate Plus wall underlay installed to wall framing using 6-8mm staples or 20mm large head galvanized clouts at 300mm crs horizontally and vertically. 150mm min overlap at joins, all vertical laps must be made over studs. Installed to manufacturers specification. Additionally, install 25mm wide Thermastrap horizontally at 300mm crs

Insulation

Wall insulation
90mm thick R2.2 Pink Batts Classic wall insulation to all external walls and internal walls between garage and habitable space. No insulation to garage external walls.

Ceiling insulation
245mm thick R6 Pink Superbatts ceiling insulation, ensure a 25mm gap min. between insulation and roof underlay.

Wall Claddings

James Hardie horizontal Stria cladding over 20mm cavity
Horizontal James Hardie Stria wide panel cladding over 45x18mm H3.1 timber cavity battens. Refer to manufacturer's information & Details for fixing and waterproofing requirements. Dwangs @ 800ctrs.
Brick veneer over cavity
70 series brick veneer, over 50mm drained cavity and wall underlay. EH wall ties @ 400mm crs vertically and 600mm crs horizontally, refer to specification. Dwangs @ 800ctrs.

Linings

10mm GIB plasterboard wall lining
Generally, line with 10mm GIB Standard plasterboard (Aqualine to wet areas, installed as per GIB Wet Area Systems specifications and installation manual 2021) stopped for level 4 paint finish (unless otherwise indicated). Refer also specific fitout dwgs & bracing schedule for specific wall linings & requirements.

13mm GIB board ceiling lining (Rondo batten)
Generally, line with 13mm Gib board ceiling with Rondo 310 ceiling battens and 311 clips at 600 crs fixed to trusses and/or joists. Gib Aqualine to wet areas. Stopped for level 4 finish.

Wall linings adjacent to appliances
CL1.6 G3, Wall linings adjacent to appliances and facilities shall have surfaces that can be easily maintained in a hygienic condition and comply with. Stainless steel, decorative high-pressure laminate, tiles, wallboards with painted or applied impervious coatings or films, are all suitable materials for these surfaces.

Floor Coverings

Slip resistance
Minimum slip resistance co-efficient for level surface between 0.25 and 0.50 acceptable in accordance with NZBC:D1/AS1 Access.

Vinyl Plank Flooring - Avvio
Vinyl plank to be installed over vinyl adhesive in areas noted on floor plan. Where installed in a wet area (including laundry and kitchen), install as per attached manufacturer's documentation and E3/AS1 alternative solution documentation.

Interior Fit-out

Internal doors
All internal door leaf widths as noted on floor plan, all heights 1980mm unless otherwise noted

Typology K08 Lot 54 Client: Raukawa Iwi Development Ltd.

Tokoroa School Development Job No: 24114

Tokoroa Date: 01/07/2025

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Print In Color



Drawing Set: Working Drawings

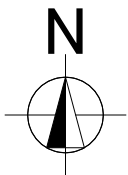
Drawn By: B Buchanan-Smith

Scale: 1:100

Drawing Sheet: Floor Plan

All work must comply with relevant NZS & council requirements. All dimensions to be verified on site by contractor prior to commencing work, do not scale from drawings. If there are any inaccuracies with the drawings please contact designer immediately. Copyright for design & drawings retained by Prime Designs New Zealand Limited.

Drawing No: 107



Roof Plan Notes

General Notes

Roof framing general
Trusses designed by truss manufacturer, refer to manufacturer's documentation.

All enclosed framing to be H1.2 SG8 unless otherwise noted. Framing to comply with NZS3604:2011

Client selected metal fascia.

Roof bracing to comply with NZS3604:2011 section 10.4

Zone B & C fixings and fastenings
Structural fixings except fabricated brackets in a Sheltered environment to be - Hot-dipped galvanized steel
Structural fixings except fabricated brackets in an Exposed environment to be - Type 304 stainless steel
All fixings be suitable for exposure zone C as outlined in NZS3604:2011 section 4.4 "steel fixings and fastenings"

Continuous spouting rainwater system
Continuous spouting rainwater system, spouting to have 5,000mm² cross sectional area, DN80 downpipes unless otherwise noted.

Roof Bracing

Steel strip roof bracing
Diagonally opposing pair of continuous steel strips at a 45° each having a capacity of 4.0kN in tension, fixed to each top chord or rafter that is intersected and to the top plate
Bottom Cord Restraints for GIB Rondo clip system
When GIB Rondo clip system is installed additional 90x35 SG8 battens @ 1800ctrs max as bottom cord restraints required.

Underlay

Roof underlay
Thermakraft 401 synthetic self-supporting roof underlay run vertically over purlins & horizontally on roof pitches less than 10 degrees. Fix using stainless steel 8-12mm staples or 20mm flat head clouts at 300mm crs. 150mm min cover over vertical and horizontal joints. Refer to manufacturer's information.

Roof Cladding

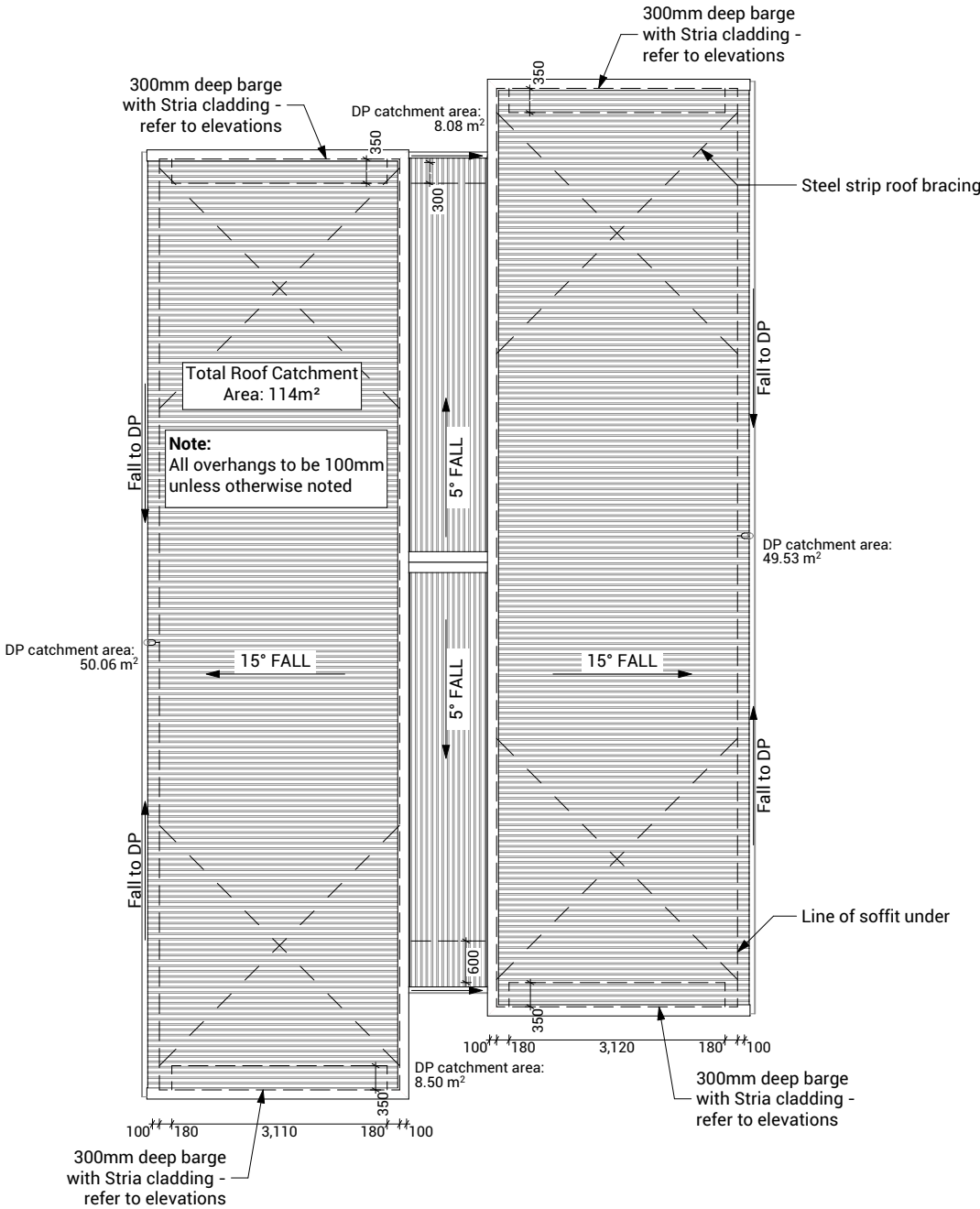
Trapezoidal roof cladding on purlins
0.55mm BMT trapezoidal Colorsteel Endura (Maxx for exposure zone D) roof cladding on purlins over roof underlay. Roofing profile to to have a minimum crest height of 19mm and a maximum of 210mm between crests.

Purlins

70x45 Purlins (up to VH)
70x45mm H1.2 SG8 purlins @ 900mm crs regular spacing & 600mm crs end spacing, fixed to trusses with 1/10g 80mm long self-drilling screw or alternative 2.4kN fixing.
Gable Verge Overhang (350mm)
90x45mm H1.2 SG8 purlins fixed as per regular purlins to minimum 3 truss top cords or rafters to create 350mm max overhang.


Soffit Lining


4.5mm HardieFlex soffit lining
4.5mm James Hardie HardieFlex soffit lining fixed to 90x45mm H1.2 soffit framing using 40 x 2.8mm HardieFlex nails at 200mm crs. Soffits jointed with proprietary uPVC jointers.





Typology K08	Lot 54	Client: Raukawa Iwi Development Ltd.	<div> Print In Color</div> <div></div>	Drawing Set: Working Drawings	<div>All work must comply with relevant NZS & council requirements. All dimensions to be verified on site by contractor prior to commencing work, do not scale from drawings. If there are any inaccuracies with the drawings please contact designer immediately. Copyright for design & drawings retained by Prime Designs New Zealand Limited.</div> <div></div>
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Tokoroa		Date: 01/07/2025		Scale: 1:100	
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
Electrical Legend


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S/M Smart Meter
- 


G Garage door motor
- 


S Smoke detector
- 


E Extractor fan
- 


Power point
- 

Ph Phone outlet
- 

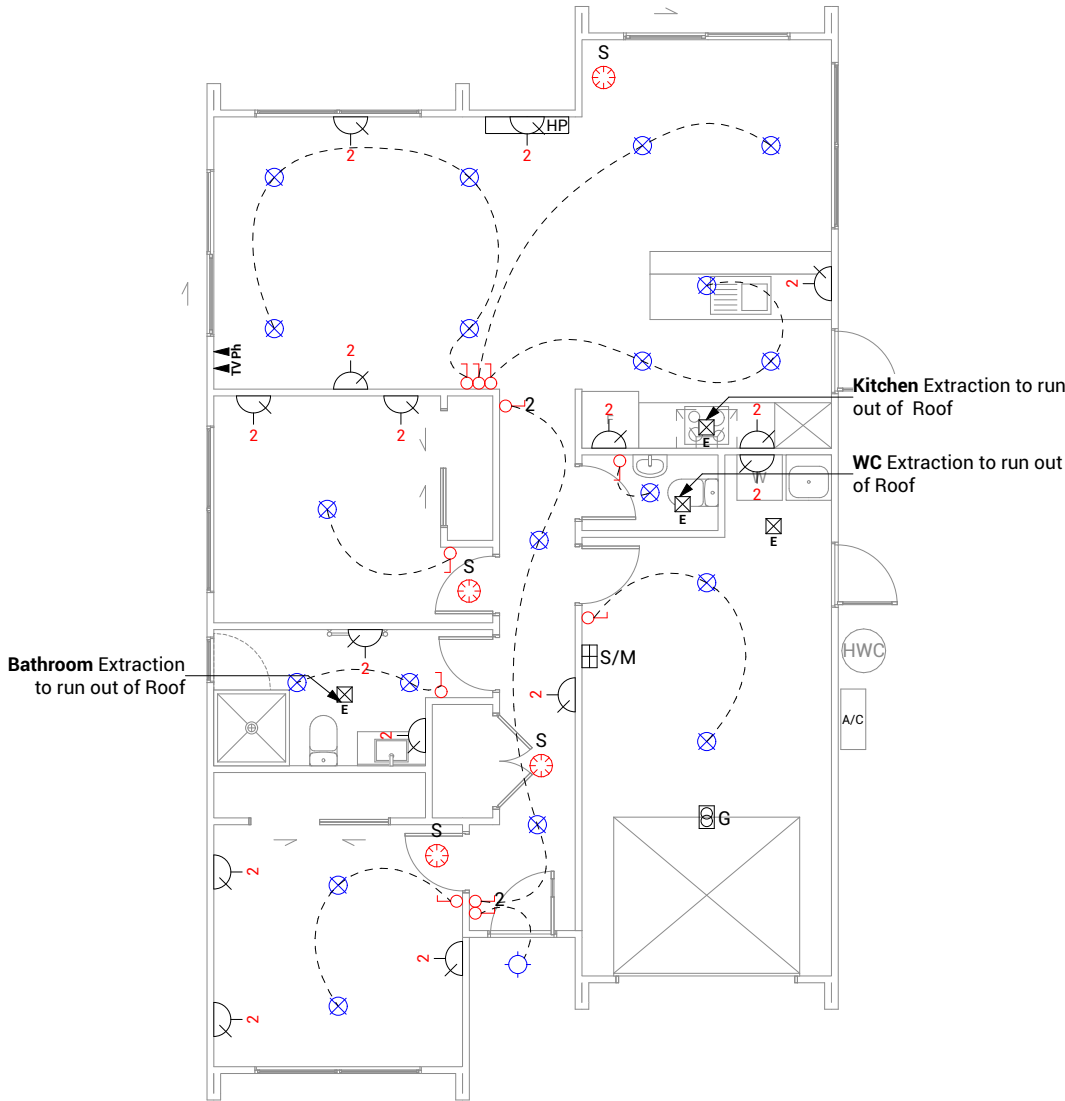
TV Television outlet
- 

Light switch
- 

2 Two way light switch
- 

Recessed downlight
- 

Ext. Security Light (Sensored)



Electrical Notes

General electrical notes
Ensure all habitable rooms are fitted with a minimum of one light fixture. All habitable internal spaces are to have a minimum illuminance of 20 lux or a minimal total wattage required per m2 of floor area as shown in G8/AS1, Table 1. Lights in the stairwell to provide 100lux at tread level or a total wattage per m2 of floor plan area as shown in D1/AS1 table8,

All electrical works to be installed to comply with NZBC G9/AS1, AS/NZS 3000:2018, AS/NZS 3008.1.2:2017, AS/NZS 5000.2:2006

Recessed downlights
Downlights to be CA135, CA180, IC, or IC-F to comply with AS/NZS 60598.2.2 Amendment A

Smoke detectors
Smoke detectors to be installed to comply with NZBC F7/AS1, C/AS1, NZS 4514:2021 and be located on or near the ceiling, in all bedrooms, living spaces, hallways and landings within the building. Where the kitchen is separated from the living space and hallways by doors that can be closed a heat alarm shall be located in the kitchen. There shall be at least one smoke level on each level. Where more than one smoke alarm is needed to meet the requirements, these alarms shall be interconnected as per NZS 4514:2021 clause 2.5. Smoke detectors to meet at least one of the following standards: UL 217, CAN/ULC S531, BS EN 14604, ISO 12239 or AS 3786

Mechanical ventilation
Extractor fans to be Manrose XF150 or similar, vent through soffit or wall as per manufacturer's installation instructions. Rangehood to be ducted and vented through soffit or wall. Dryer to be vented seperately as per NZBC G4.

Typology K08 Lot 54 Client: Raukawa Iwi Development Ltd.

Tokoroa School Development Job No: 24114

Tokoroa Date: 01/07/2025

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Drawing Set: Working Drawings

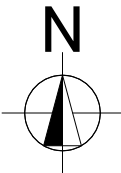
Drawn By: B Buchanan-Smith

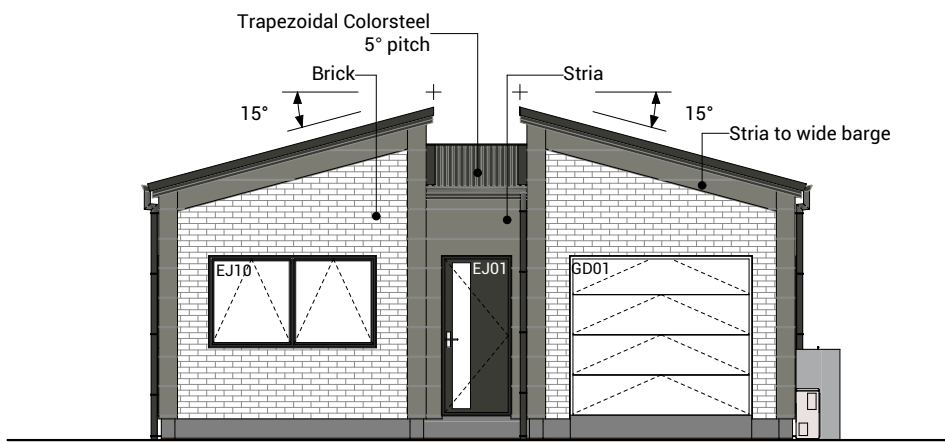
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Drawing Sheet: Electrical Plan

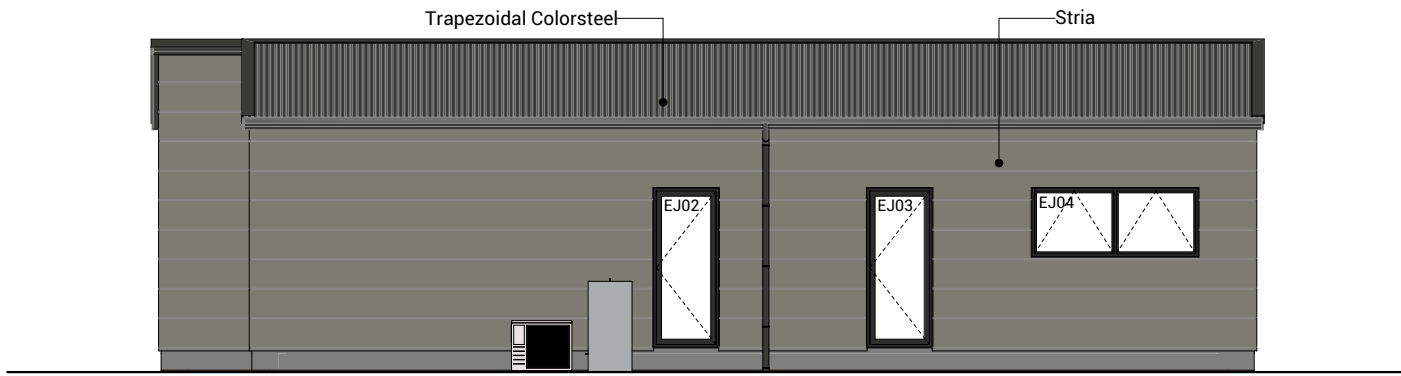
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Drawing No: 112

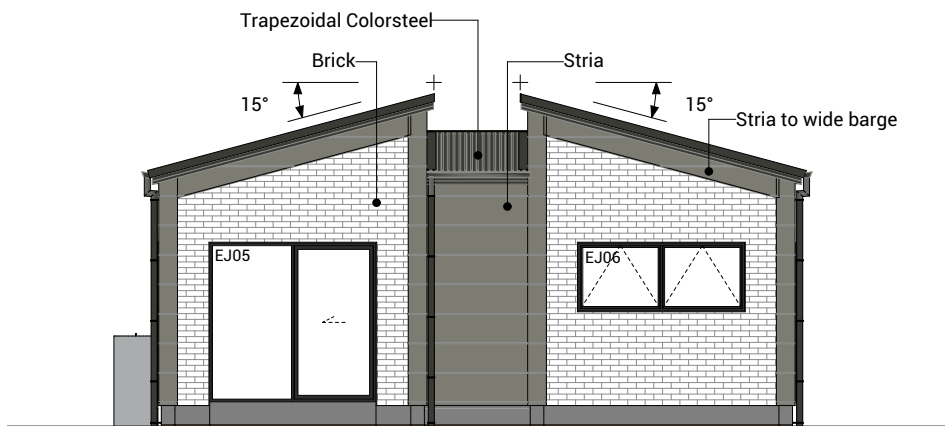




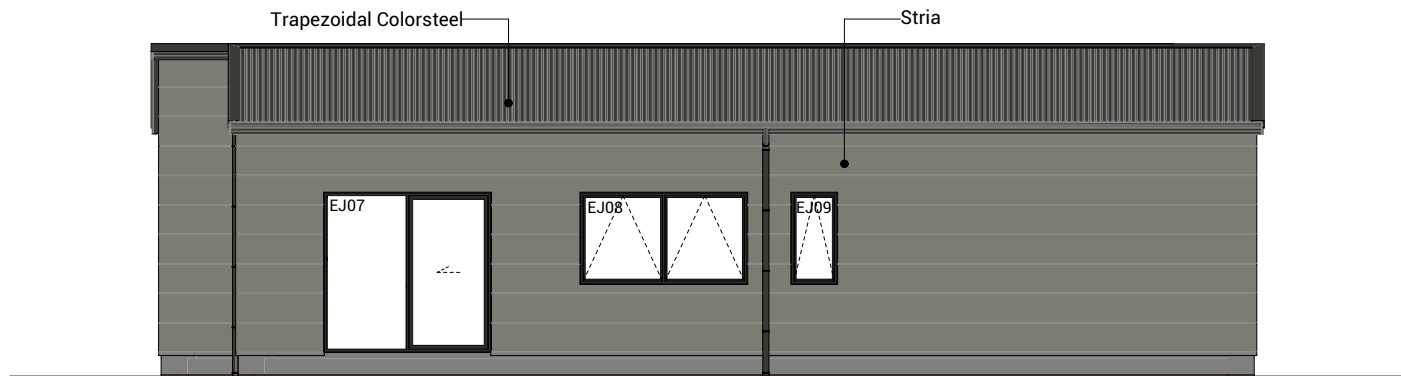
South Elevation 1:100



East Elevation 1:100



North Elevation 1:100



West Elevation 1:100

BUILDING ENVELOPE RISK MATRIX		
All Elevations		
Risk Factor	Risk Severity	Risk Score
Wind zone (per NZS 3604)	High risk	1
Number of storeys	Low risk	0
Roof/wall intersection design	Very high risk	5
Eaves width	Very high risk	5
Envelope complexity	Medium risk	1
Deck design	Low risk	0
Total Risk Score:		12

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Drawing Set: Working Drawings

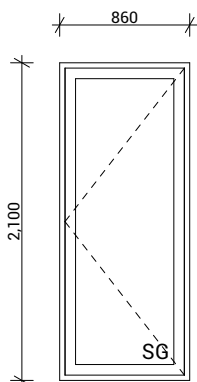
Drawn By: B Buchanan-Smith

Scale: 1:100

Drawing Sheet: Elevations

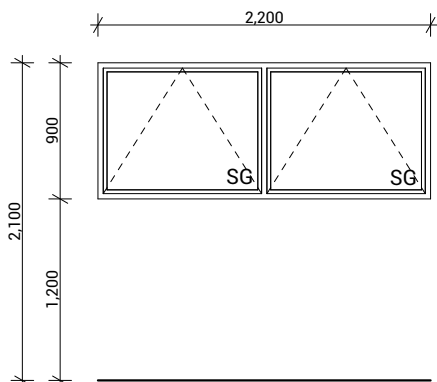
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Drawing No: 301

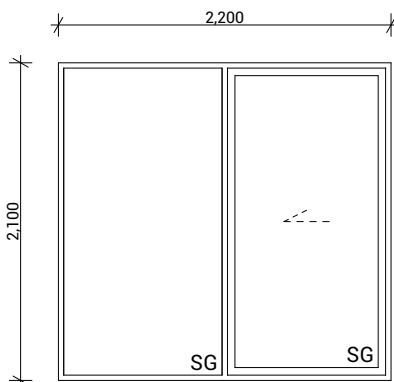


Type	Entry Door
Material	Aluminium, Thermally Broken
Glazing	Double, Low E, Grade A Safety

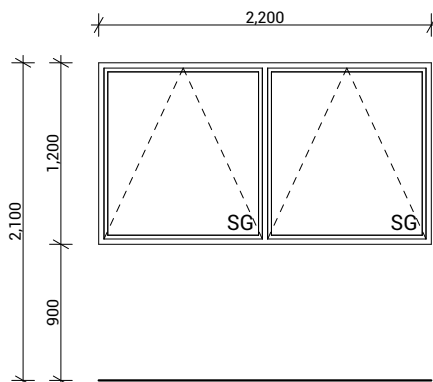
Type	External Hinged Door
Material	Aluminium, Thermally Broken
Glazing	Double, Low E, Grade A Safety



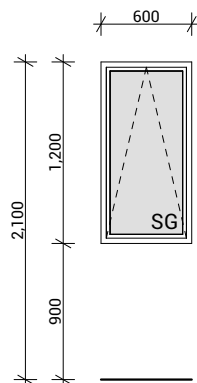
Type	Awning Window
Material	Aluminium, Thermally Broken
Glazing	Double, Low E



Type	Sliding Door With Fixed Window
Material	Aluminium, Thermally Broken
Glazing	Double, Low E, Grade A Safety



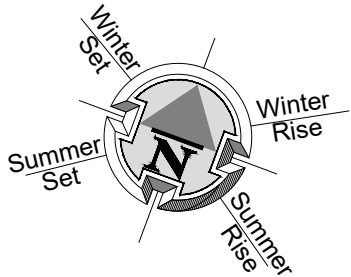
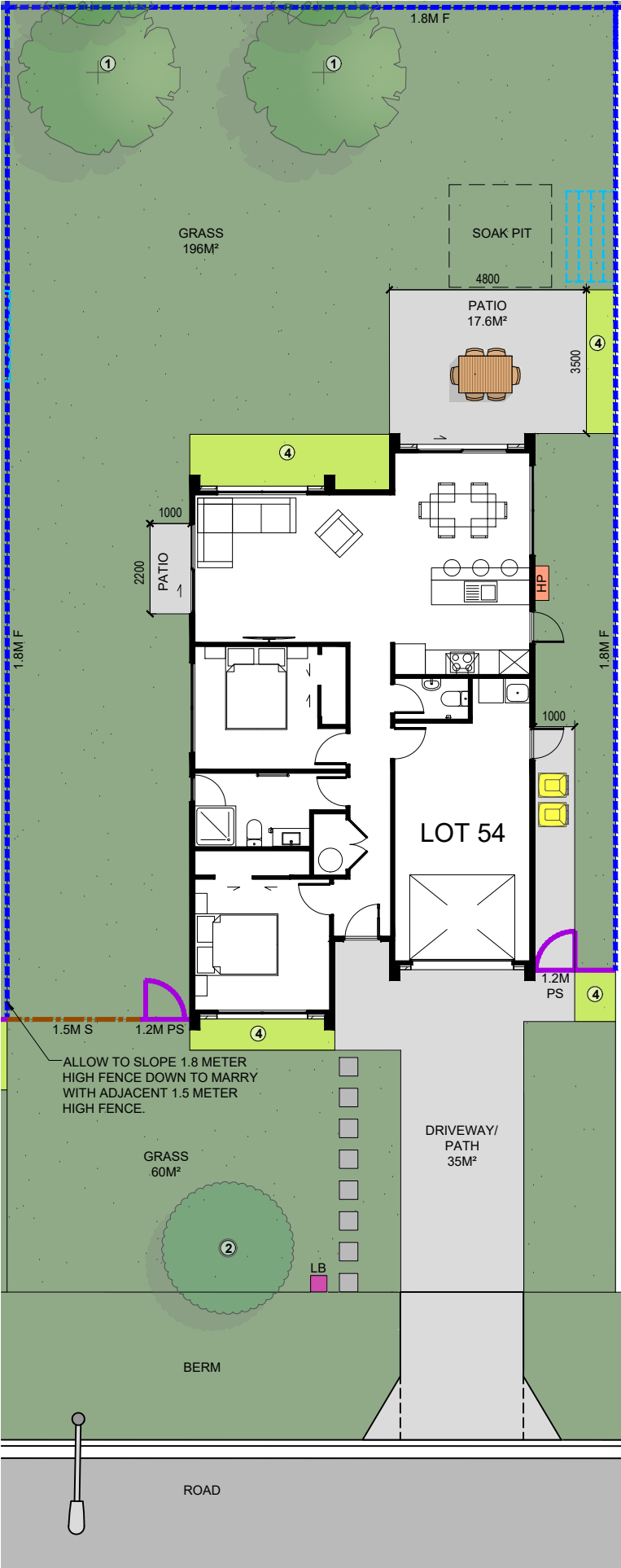
Type	Awning Window
Material	Aluminium, Thermally Broken
Glazing	Double, Low E



Type	Awning Window
Material	Aluminium, Thermally Broken
Glazing	Double, Low E, Obscured, Grade A Safety

Window Restrictors
 Place restrictor stays to all openable windows with sills within 760mm of floor level where a fall greater than 1m is possible from FFL to ground.

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Tokoroa		Date: 01/07/2025				Scale: 1:50		
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LEGEND	
	KARAEHE - GRASS
	RAIMA- CONCRETE. BRUSH FINISH
	ROAD. FINISH BY OTHERS
	KŌWHATU- STONES (PERMEABLE)
	TYPE 1 FRUIT TREE READ IN CONJUNCTION WITH PLANTING PALETTE
	TYPE 2 SPECIMEN TREE READ IN CONJUNCTION WITH PLANTING PALETTE
	HEDGE PLANTING. READ IN CONJUNCTION WITH PLANTING PALETTE
	LOW PLANTING. READ IN CONJUNCTION WITH PLANTING PALETTE
	PAVERS (SHOWN INDICATIVELY)
	1.8M HIGH ROUGH SAWN CLOSED BOARDED TIMBER FENCE
	1.8m high timber batten fence with gaps for 50% visually permeability
	1.5M HIGH TIMBER BATTEN FENCE
	1.2M HIGH POOL STYLE GATE
	1.2M HIGH POOL STYLE FENCE
	EXISTING FENCE. REFER NOTES FOR DETAILS
	RETAINING WALL (INDICATIVE. REFER ENGINEERING DOCUMENTATION FOR DETAILS).
	EXTERIOR HEAT PUMP UNIT. REFER ARCHITECTURAL DRAWINGS FOR DETAILS. ELECTRICIAN TO CONFIRM LOCATION ON SITE.
	IPUPARA/ HANGARUA - SERVICE AREA FOR RUBBISH/ RECYCLING BINS
	POUAKA RETA- LETTERBOX. MAIL SLOT 0.9M – 1M FROM THE GROUND. TOP OF LETTERBOX NOT TO EXCEED 1M TO ENSURE NO OBSTRUCTIONS TO VISIBILITY FROM DRIVEWAYS.
	UNIT NUMBER
	WASHING LINE - RETRACTABLE OR FOLD DOWN, FIXED TO FENCE OR POSTS.
	HATCHED AREA TO BE KEPT CLEAR OF OBSTRUCTIONS TO VISIBILITY AS PER AS/NZS 2890.1 (PLANTING/ LETTERBOX/ FENCE ETC TO BE 1.0M HIGH MAXIMUM).
	SOAK PIT. REFER TO DOCUMENTATION BY OTHERS FOR ALL DETAILS.
REFER DOCUMENTATION BY OTHERS FOR DETAILS OF ANY BARRIERS TO PREVENT FALLING, INCLUDING LOCATION AND CONSTRUCTION DETAILS.	

HO

OD

HOUSE OF ORANGE

DESIGN

LIMITED

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READ IN CONJUNCTION WITH THE SUBDIVISION, ARCHITECTURAL & ENGINEERING DRAWINGS.
REFER DRAWINGS BY OTHERS FOR RETAINING WALLS, BARRIERS WITH FALLS OVER 1M, STAIRS,
DECKS & SITE DRAINAGE. LANDSCAPE PLANS ARE INDICATIVE AND ARE SUBJECT TO CHANGE.
ALLOW TO CONFIRM ALL LAYOUTS BEFORE CONSTRUCTION COMMENCES. FLOOR PLANS AND
SITE PLANS SUPPLIED BY OTHERS. WE DO NOT TAKE LIABILITY FOR ITS ACCURACY.

TOKOROA EAST SCHOOL SITE
MAIN ROAD, TOKOROA

FOR COUNCIL
LANDSCAPE PLAN

REV: 3	DATE: 24/07/2025	SHEET No.
SCALES (A3): 1:150		L1.54