

8 TE KOHA

LOT NUMBER	BEDROOMS	BATHROOMS	HOUSE SIZE (m ²)	SECTION SIZE (m ²)
48	3	2	123	485

LOT LOCATION INNER LOOP, FRONTRAGE TO ROAD 1

IN PARTNERSHIP WITH

KA URUORA

PROUDLY DEVELOPED BY

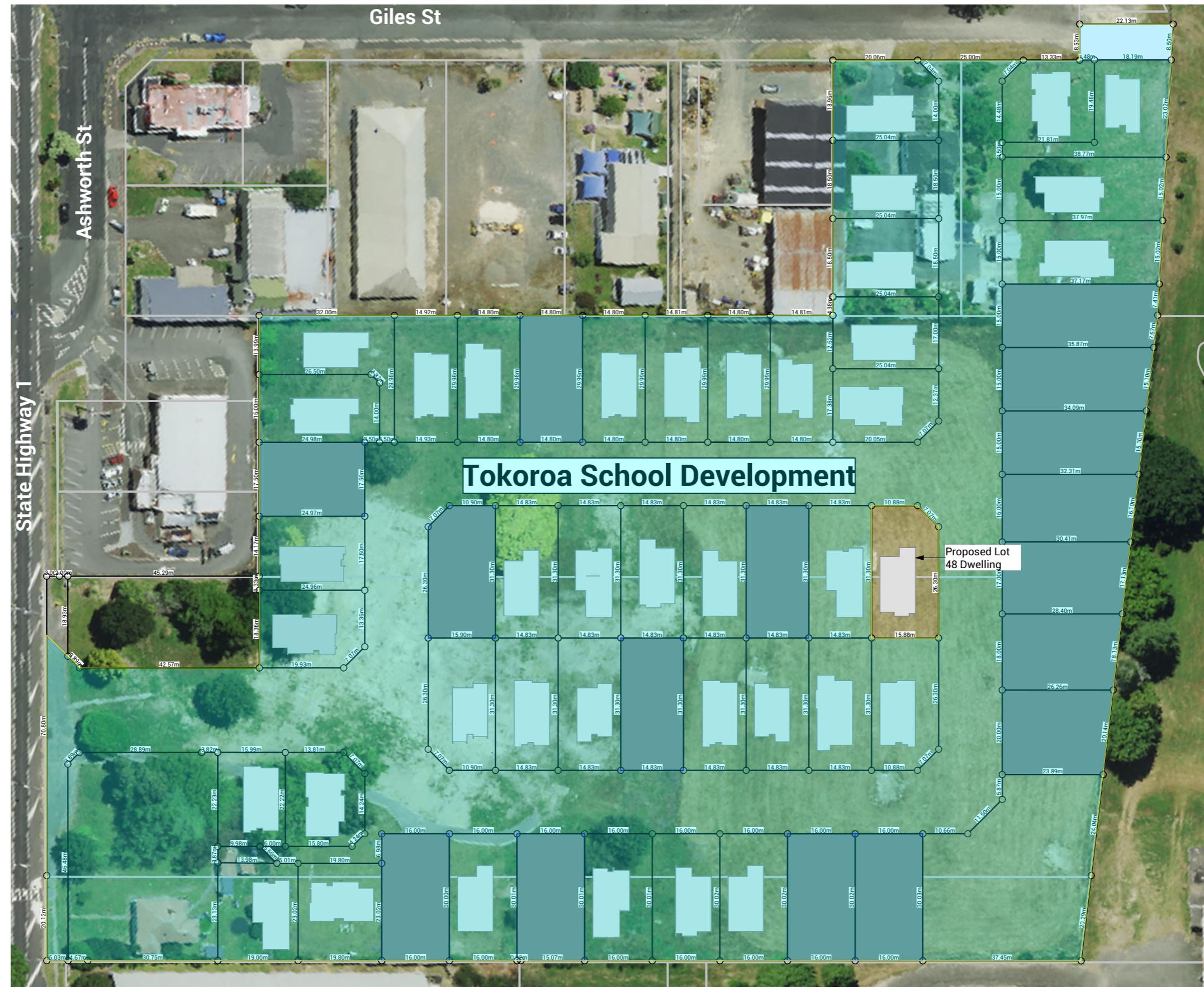
 **Raukawa**

TEKOHA-TOKOROA.NZ

PLANNING & ZONING		CONSTRUCTION		CLADDING		FITOUT	
Lot / DP Number	Part lot 15 DP 3320, Part lot 13&14 DP8320, Lot 7&8 DPS 23458	Foundation Type	Cupolex Ecodome slab designed to NZS3604:2011	Wall Cladding Type 1	JH Linea over cavity	Flooring Types	Carpet
Address	Lot 48 - Tokoroa East Primary School Development	Stud Height	2.465 m	Wall Cladding Type 2	Truwood Vertical Timber	Balustrade Type	N/A
Territorial Authority	SWDC	Typical Joinery Height	2m	Wall Cladding Type 3	N/a	Shower Type	Acrylic shower liner and tray
District Plan Zone	Commercial Zone	Typical Internal Door Height	2m	Roof Cladding		Water Heating	External HWC
Easements	N/a	Rebated Joinery	N/A	Fascia Type	Metal	Space Heating	A/C
Relevant Consent Notices	RC Condition 81 of Section 221	Wall Underlay	Thermakraft WaterGate Plus	CONSULTANTS		SITE/BUILDING INFORMATION	
Resource Consent #	RM230072	Roof Underlay	Thermakraft Covertek 401	Topographical Survey	N/a	Site Coverage	m ²
Wind Zone	High	Wall Insulation	90mm R2.4 Pink Batts Classic Wall	Structural Engineer	N/a	Floor Area	123m ²
Corrosion Zone	B	Ceiling Insulation	195mm R4 Pink Batts Classic Ceiling	Geotechnical Engineer	HDGO Engineer	Minimum Floor Level (to u/s floor)	
Earthquake Zone	2	Floor Insulation	N/a	Truss Manufacturer	ITM		+330 To NZS3604:2011
Liquefaction Zone	N/a	Wet Area Membrane	N/a				

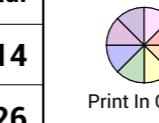


Proposed Dwelling - K010A	Client: Raukawa Iwi Development Ltd.	 Print In Color	 PRIME DESIGNS CREATIVE FUNCTIONAL ARCHITECTURE	Drawing Set: Working Drawing	All work must comply with relevant NZS & council requirements. All dimensions to be verified on site by contractor prior to commencing work, do not scale from drawings. If there are any inaccuracies with the drawings please contact designer immediately. Copyright for design & drawings retained by Prime Designs New Zealand Limited.	
Lot 48 - Tokoroa East Primary School Development	Job No: 24114			Drawn By: A Samson		
	Date: 20/01/2026					
admin@primedesigns.co.nz	04 528 8405			Drawing Sheet: Project Specifications		



Proposed Dwelling - K010A	Client: Raukawa Iwi Development Ltd.
Lot 48 - Tokoroa East Primary School Development	Job No: 24114
	Date: 20/01/2026

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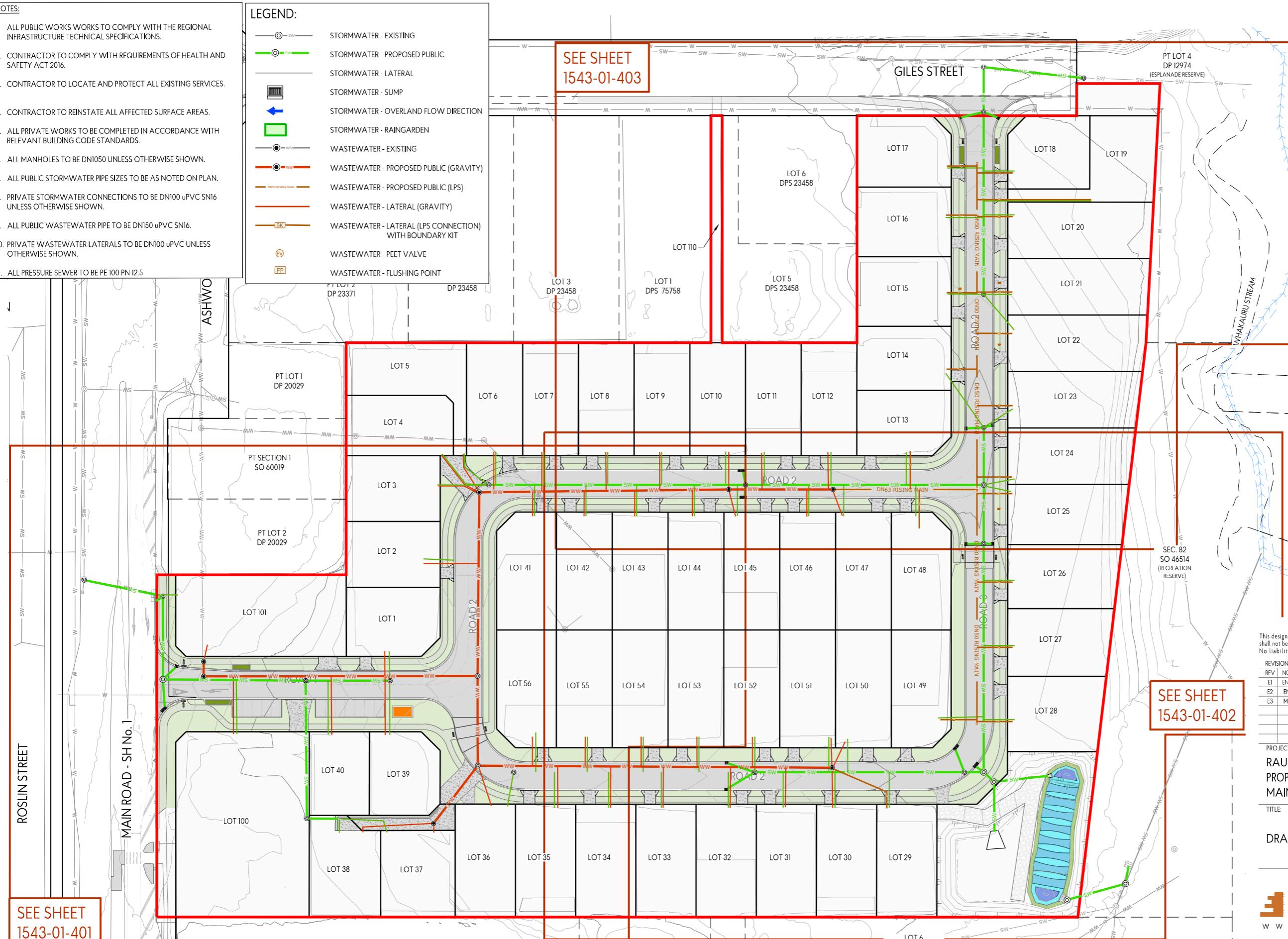
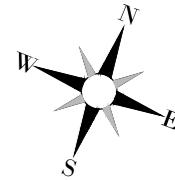
NOTES:

1. ALL PUBLIC WORKS WORKS TO COMPLY WITH THE REGIONAL INFRASTRUCTURE TECHNICAL SPECIFICATIONS.
2. CONTRACTOR TO COMPLY WITH REQUIREMENTS OF HEALTH AND SAFETY ACT 2016.
3. CONTRACTOR TO LOCATE AND PROTECT ALL EXISTING SERVICES.
4. CONTRACTOR TO REINSTATE ALL AFFECTED SURFACE AREAS.
5. ALL PRIVATE WORKS TO BE COMPLETED IN ACCORDANCE WITH RELEVANT BUILDING CODE STANDARDS.
6. ALL MANHOLES TO BE DN1050 UNLESS OTHERWISE SHOWN.
7. ALL PUBLIC STORMWATER PIPE SIZES TO BE AS NOTED ON PLAN.
8. PRIVATE STORMWATER CONNECTIONS TO BE DN100 uPVC SNI6 UNLESS OTHERWISE SHOWN.
9. ALL PUBLIC WASTEWATER PIPE TO BE DN150 uPVC SNI6.
10. PRIVATE WASTEWATER LATERALS TO BE DN100 uPVC UNLESS OTHERWISE SHOWN.
11. ALL PRESSURE SEWER TO BE PE 100 PN 12.5

LEGEND:

- STORMWATER - EXISTING
- STORMWATER - PROPOSED PUBLIC
- STORMWATER - LATERAL
- STORMWATER - SUMP
- STORMWATER - OVERLAND FLOW DIRECTION
- STORMWATER - RAINGARDEN
- WASTEWATER - EXISTING
- WASTEWATER - PROPOSED PUBLIC (GRAVITY)
- WASTEWATER - PROPOSED PUBLIC (LPS)
- WASTEWATER - LATERAL (GRAVITY)
- WASTEWATER - LATERAL (LPS CONNECTION) WITH BOUNDARY KIT
- WASTEWATER - PEET VALVE
- WASTEWATER - FLUSHING POINT

SEE SHEET
1543-01-403



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REVISIONS:	
REV	NOTES
E1	ENGINEERING APPROVAL
E2	ENGINEERING APPROVAL
E3	MINOR ADJUSTMENTS
	BY DATE
	LVG 06-12-2024
	LVG 21-01-2025
	LVG 2025-02-08

PROJECT:
RAUKAWA IWİ DEVELOPMENT LTD
PROPOSED SUBDIVISION - TOKOROA EAST SCHOOL
MAIN ROAD, TOKOROA

TITLE:
DRAINAGE LAYOUT PLAN

ENVELOPE
www.envelope-eng.co.nz

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Proposed Dwelling - K010A

Client: Raukawa Iwi Development Ltd.



Print In Color

Lot 48 - Tokoroa East Primary
School Development

Job No: 24114
Date: 20/01/2026

Drawing Set: Working Drawing

Drawn By: A Samson

Scale: 1:1

Drawing Sheet: Services Plan

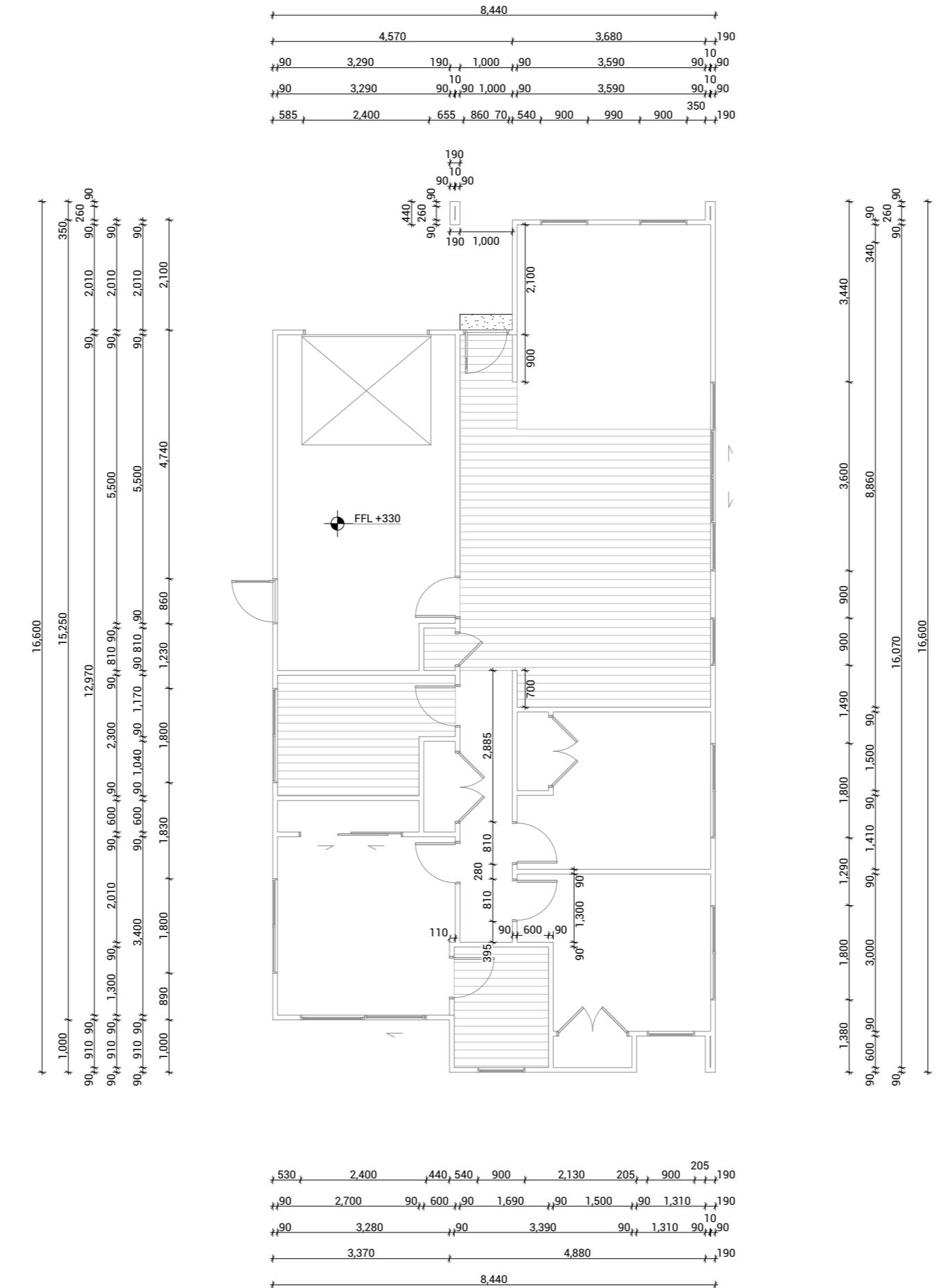
admin@primedesigns.co.nz

04 528 8405

3 Jupiter Grove, Trentham, Upper Hutt

Drawing No:

105



Proposed Dwelling - K010A	Client:	Raukawa Iwi Development
Lot 48 - Tokoroa East Primary	Job No:	241
School Development	Date:	20/01/20
admin@primedesigns.co.nz	04 528 8405	3 Jupiter Gro



Drawing Set:	Working Drawing	All work must comply with relevant NZS & council requirements. All dimensions to be verified on site by contractor prior to commencing work, do not scale from drawings. If there are any inaccuracies with the drawings please contact designer immediately. Copyright for design & drawings retained by Prime Designs New Zealand Limited.
Drawn By:	A Samson	
Scale:	1:100	
Drawing Sheet:	Dimension Plan	Drawing No: 109

Roof Plan Notes

General Notes

Roof framing general

Trusses designed by truss manufacturer, refer to manufacturer's documentation.

All enclosed framing to be H1.2 SG8 unless otherwise noted. Framing to comply with NZS3604:2011

Client selected metal fascia.

Roof bracing to comply with NZS3604:2011 section 10.4

Zone B & C fixings and fastenings

Structural fixings except fabricated brackets in a Sheltered environment to be - Hot-dipped galvanized steel

Structural fixings except fabricated brackets in an Exposed environment to be - Type 304 stainless steel

All fixings be suitable for exposure zone C as outlined in NZS3604:2011 section 4.4 "steel fixings and fastenings"

Fixings and fastenings all Zones

Nail plates, wire dogs & bolts in roof spaces and closed environments to be continuously coated galvanized steel or Hot-dipped galvanized steel

Continuous spouting rainwater system

Continuous spouting rainwater system, spouting to have 9,000mm² cross sectional area, DN80 downpipes unless otherwise noted.

Roof Bracing

Steel strip roof bracing

Diagonally opposing pair of continuous steel strips at a 45° each having a capacity of 4.0kN in tension, fixed to each top chord or rafter that is intersected and to the top plate

Roof Bracing - Hip roofs

Roofs with hip and valley rafters and framed roofs to have at least 3 hips or valleys connected to the ridge and top plates. All additional hip and valley rafters shall be counted as roof plan braces as per NZS 3604:2011 section 10.3.

Bottom Cord Restraints for GIB Rondo clip system

When GIB Rondo clip system is installed additional 90x35 SG8 battens @ 1800ctrs max as bottom cord restraints required.

Underlay

Roof underlay

Thermakraft 401 synthetic self-supporting roof underlay run vertically over purlins & horizontally on roof pitches less than 10 degrees. Fix using stainless steel 8-12mm staples or 20mm flat head clouts at 300mm ctrs. 150mm min cover over vertical and horizontal joins. Refer to manufacturer's information.

Roof Cladding

Trapezoidal roof cladding on purlins

0.55mm BMT trapezoidal profile Colorsteel Maxam roof cladding on purlins over roof underlay. Roofing profile to have a minimum crest height of 19mm and a maximum of 210mm between crests. Fixing to be pattern 'C' as per metalcraft loading span specification.

Purlins

70x45 Purlins (up to VH)

70x45mm H1.2 SG8 purlins @ 900mm ctrs regular spacing & 600mm ctrs end spacing, fixed to trusses with 1/10g 80mm long self-drilling screw or alternative 2.4kN fixing.

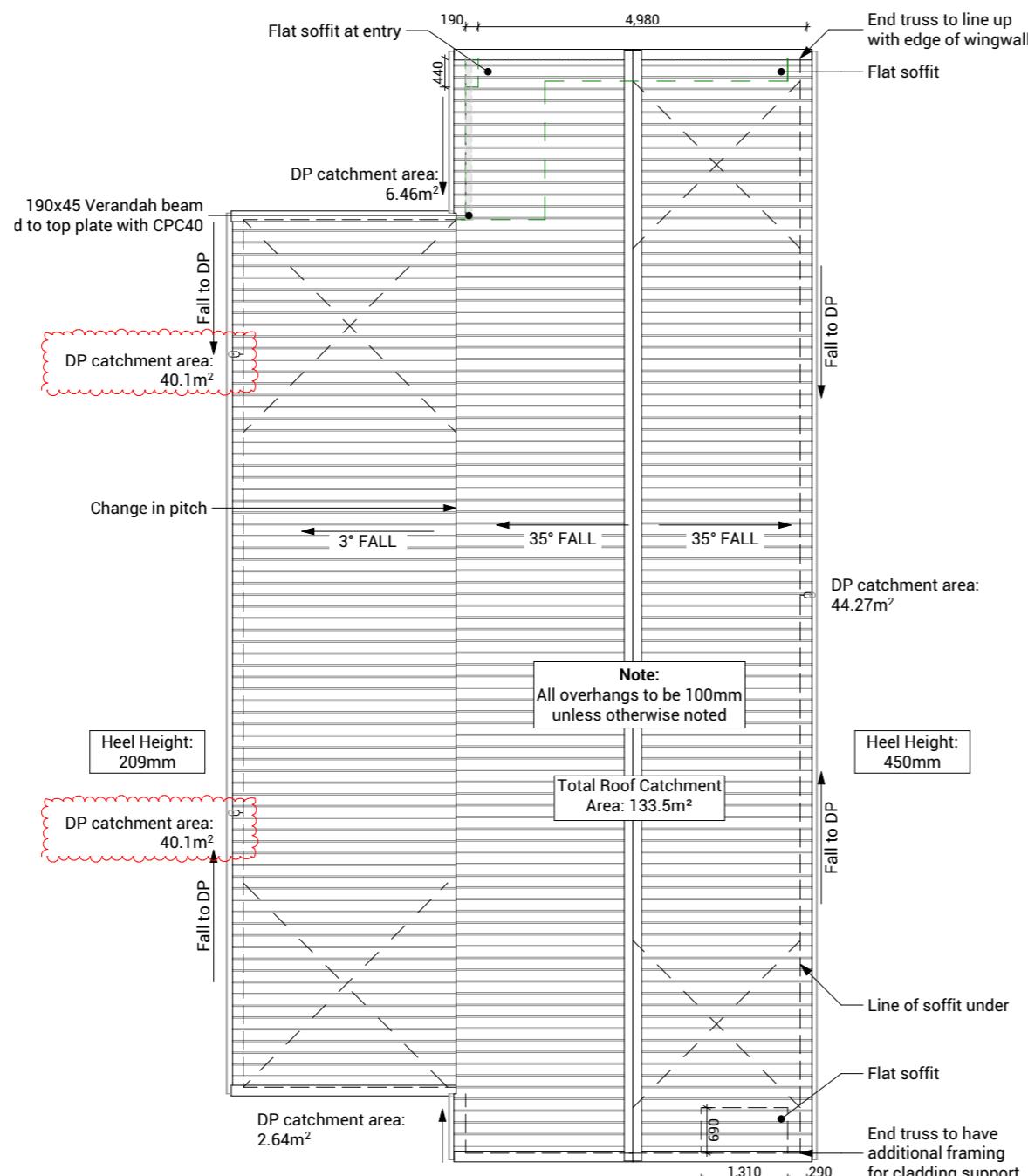
Gable Verge Overhang (350mm)

90x45mm H1.2 SG8 purlins fixed as per regular purlins to minimum 3 truss top cords or rafters to create 350mm max overhang.

Soffit Lining

4.5mm HardieFlex soffit lining

4.5mm James Hardie HardieFlex soffit lining fixed to 90x45mm H1.2 soffit framing using 40 x 2.8mm HardieFlex nails at 200mm ctrs. Soffits jointed with proprietary uPVC jointers.



1

Proposed Dwelling - K010A

Client: Raukawa Iwi Development Ltd.

Lot 48 - Tokoroa East Primary
School Development

Job No: 24114
Date: 20/01/2026

admin@primedesigns.co.nz

04 528 8405



PRIME DESIGNS
CREATIVE | FUNCTIONAL | ARCHITECTURE

Drawing Set: **Working Drawing**

Drawn By: **A Samson**

Scale: **1:100**

Drawing Sheet: **Roof Plan**

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Drawing No: **110**



Electrical Notes

General electrical notes

Ensure all habitable rooms are fitted with a minimum of one light fixture. All habitable internal spaces are to have a minimum illuminance of 20 lux or a minimal total wattage required per m² of floor area as shown in G8/AS1, Table 1. Lights in the stairwell to provide 100lux at tread level or a total wattage per m² of floor plan area as shown in D1/AS1 table8,

All electrical works to be installed to comply with NZBC G9/AS1, AS/NZS 3000:2018, AS/NZS 3008.1.2:2017, AS/NZS 5000.2:2006

Recessed downlights

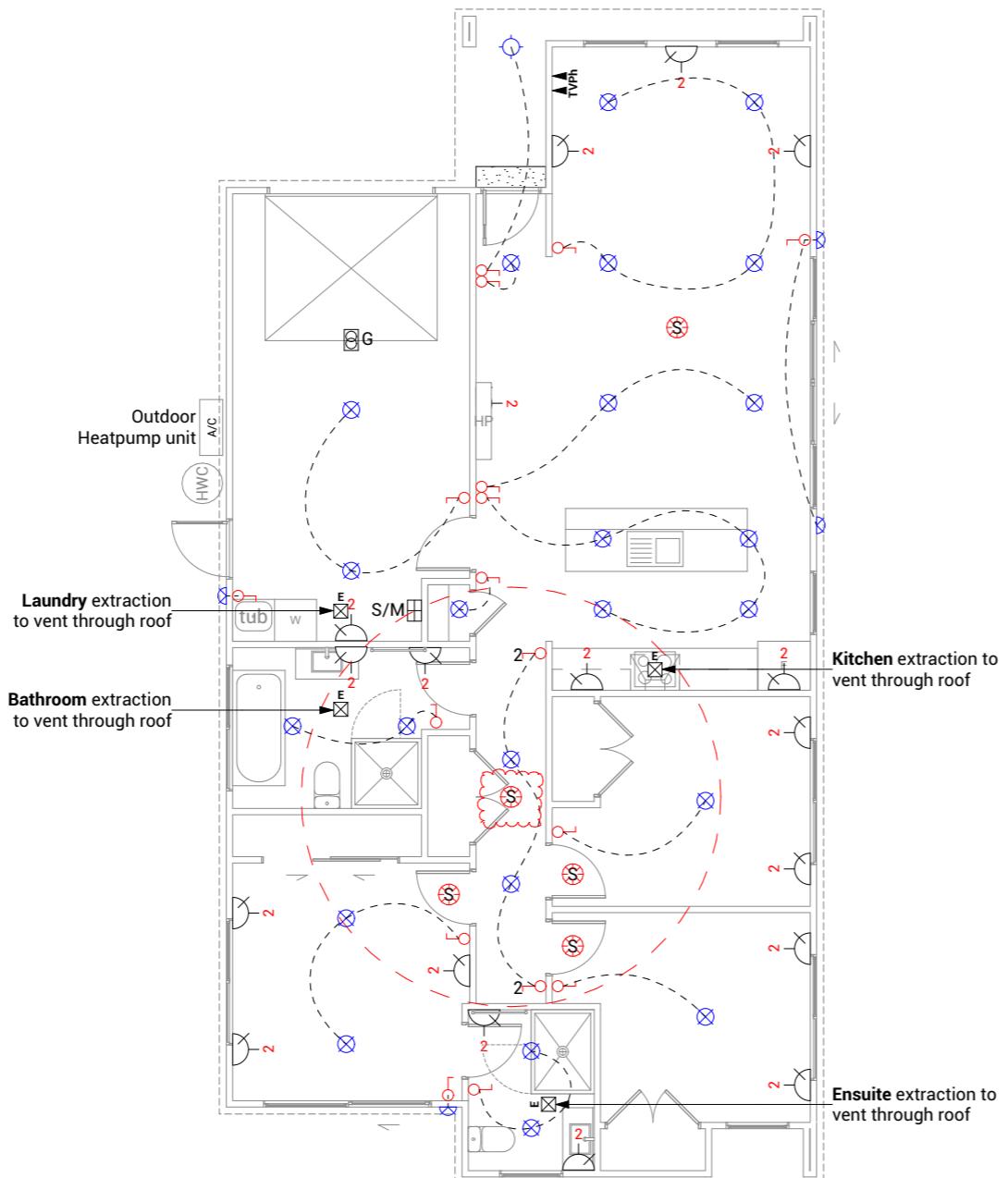
Downlights to be CA135, CA180, IC, or IC-F to comply with AS/NZS 60598.2.2 Amendment A

Smoke detectors

Smoke detectors to be installed to comply with NZBC F7/AS1, C/AS1, NZS 4514:2021 and be located on or near the ceiling, in all bedrooms, living spaces, hallways and landings within the building. Where the kitchen is separated from the living space and hallways by doors that can be closed a heat alarm shall be located in the kitchen. There shall be at least one smoke alarm on each level. Where more than one smoke alarm is needed to meet the requirements, these alarms shall be interconnected as per NZS 4514:2021 clause 2.5. Smoke detectors to meet at least one of the following standards: UL 217, CAN/ULC S531, BS EN 14604, ISO 12239 or AS 3786

Mechanical ventilation

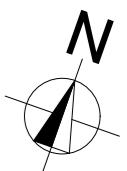
Extractor fans to be Manrose XF150 or similar, vent through roof as per manufacturer's installation instructions. Rangehood to be ducted and vented up and through roof. Dryer to be vented separately as per NZBC G4.

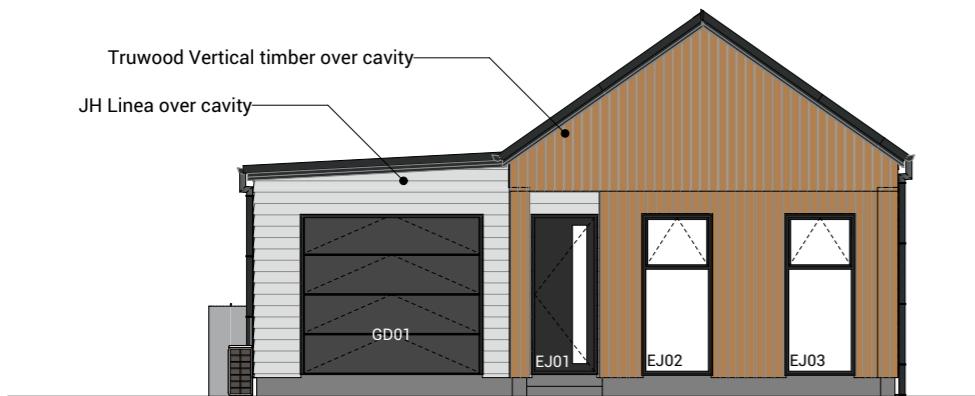


Electrical Legend

	Smart Meter
	Garage door motor
	Smoke detector
	Extractor fan
	Power point
	Phone outlet
	Television outlet
	Light switch
	Two way light switch
	Recessed downlight
	Ext. Security light (Sensored)
	Heated towel rail

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	Date: 20/01/2026
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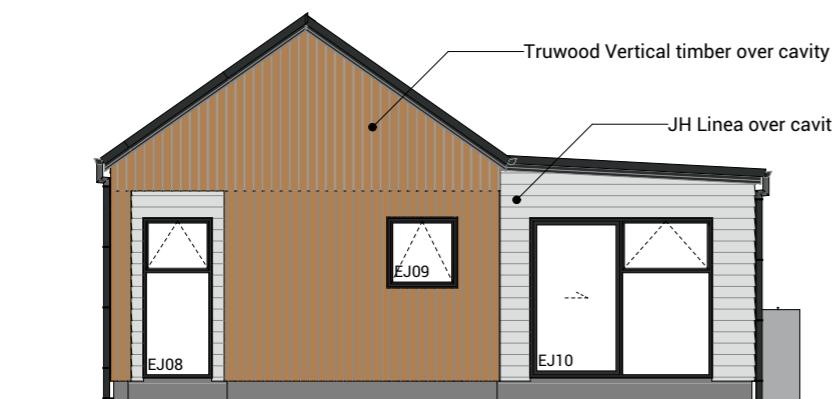




1 North Elevation 1:100



2 East Elevation 1:100



3 South Elevation 1:100



4 West Elevation 1:100

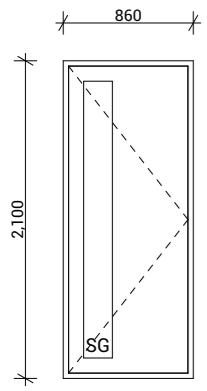
BUILDING ENVELOPE RISK MATRIX		
All Elevations		
Risk Factor	Risk Severity	Risk Score
Wind zone (per NZS 3604)	High risk	1
Number of storeys	Low risk	0
Roof/wall intersection design	Medium risk	1
Eaves width	Very high risk	5
Envelope complexity	Medium risk	1
Deck design	Low risk	0
Total Risk Score:		8

Proposed Dwelling - K010A Client: Raukawa Iwi Development Ltd.

Lot 48 - Tokoroa East Primary School Development Job No: 24114 Date: 20/01/2026

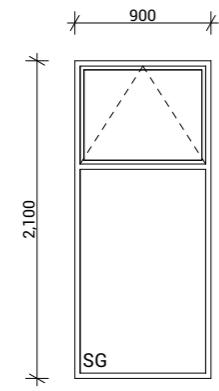
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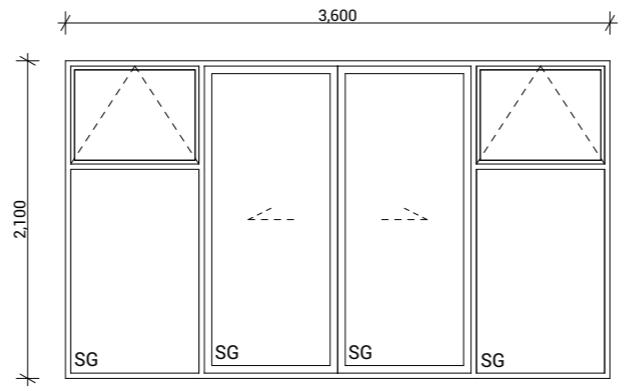
EJ01

Type Entry Door
Material Aluminium, Thermally Broken
Glazing Double, Low E, Grade A Safety



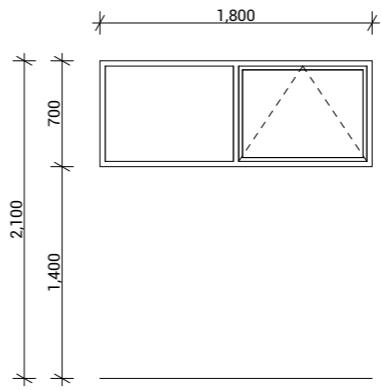
EJ02, EJ03, EJ05, EJ08

Type Awning Window
Material Aluminium, Thermally Broken
Glazing Double, Low E



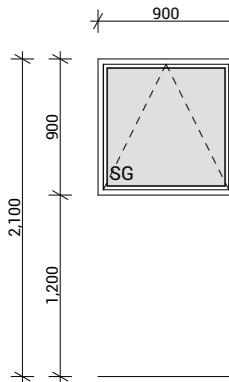
EJ04

Type Sliding Door With Awning Window
Material Aluminium, Thermally Broken
Glazing Double, Low E, Grade A Safety



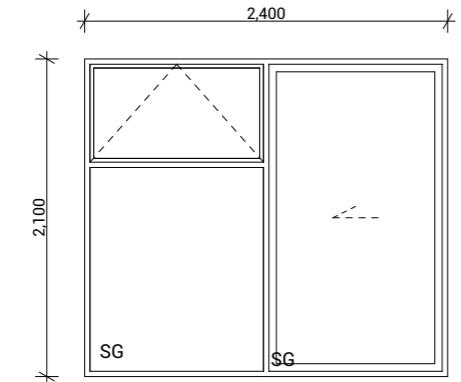
EJ06, EJ07

Type Awning Window
Material Aluminium, Thermally Broken
Glazing Double, Low E



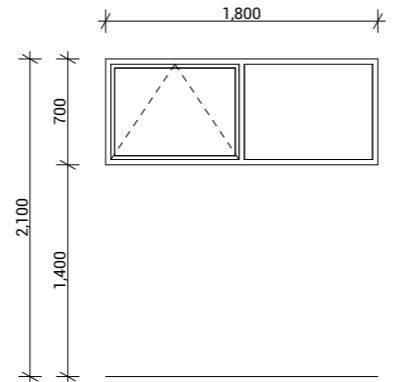
EJ09

Type Awning Window
Material Aluminium, Thermally Broken
Glazing Double, Low E, Obscured, Grade A Safety



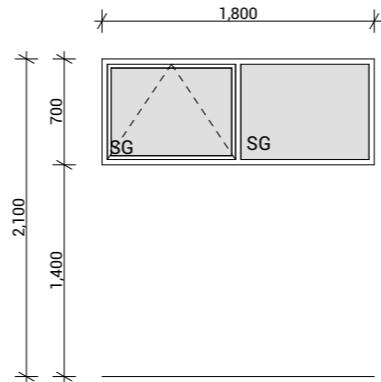
EJ10

Type Sliding Door With Awning Window
Material Aluminium, Thermally Broken
Glazing Double, Low E, Grade A Safety



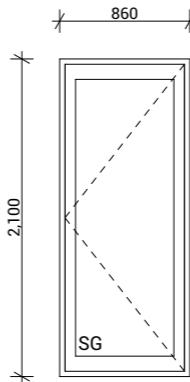
EJ11

Type Awning Window
Material Aluminium, Thermally Broken
Glazing Double, Low E



EJ12

Type Awning Window
Material Aluminium, Thermally Broken
Glazing Double, Low E, Obscured, Grade A Safety



EJ13

Type External Hinged Door
Material Aluminium, Thermally Broken
Glazing Double, Low E, Grade A Safety

Joinery Notes

General joinery notes

All dimensions to be checked on site prior to fabrication

Windows & doors viewed from exterior

Window & door supplier is responsible for ensuring that all components fit the structure and opening size

All windows & doors to be installed in accordance with construction details in drawing set

Aluminium joinery

Selected colour powder-coated thermally broken aluminium joinery. All head, jamb and sill liners to be 20mm H3.1 timber, painted

Glazing

Glazing weight to comply with NZS4223.

Glass to be Low E with a U value of 1.1.

Double Pane with argon gas.

Flashings and flexible flashing tape

All flashings and flashing tape to be installed to comply with NZBC E2/AS1 and manufacturer's specification. Do not fix through flashings unless otherwise specifically shown in details

Window and door opening widths

All window and door sizes shown on the plan refer to 'Box' size only and do not allow for packers. pre-nailer to increase opening width accordingly

Reveal Depths

Joinery manufacturer to check reveal depths to suit cladding system, wall underlay, wall framing & interior lining thickness.

Window Restrictors

Place restrictor stays to all openable windows with sills within 760mm of floor level where a fall greater than 1m is possible from FFL to ground.

Glazing requirements as per NDY Noise Intrusion Assessment:
4mm float glass / 8mm air gap / 4mm float glass

Proposed Dwelling - K010A

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Lot 48 - Tokoroa East Primary
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3 Jupiter Grove, Trentham, Upper Hutt



PRIME DESIGNS
CREATIVE | FUNCTIONAL | ARCHITECTURE

Drawing Set: **Working Drawing**

Drawn By: **A Samson**

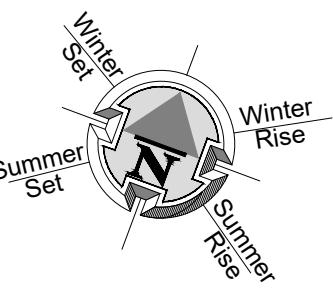
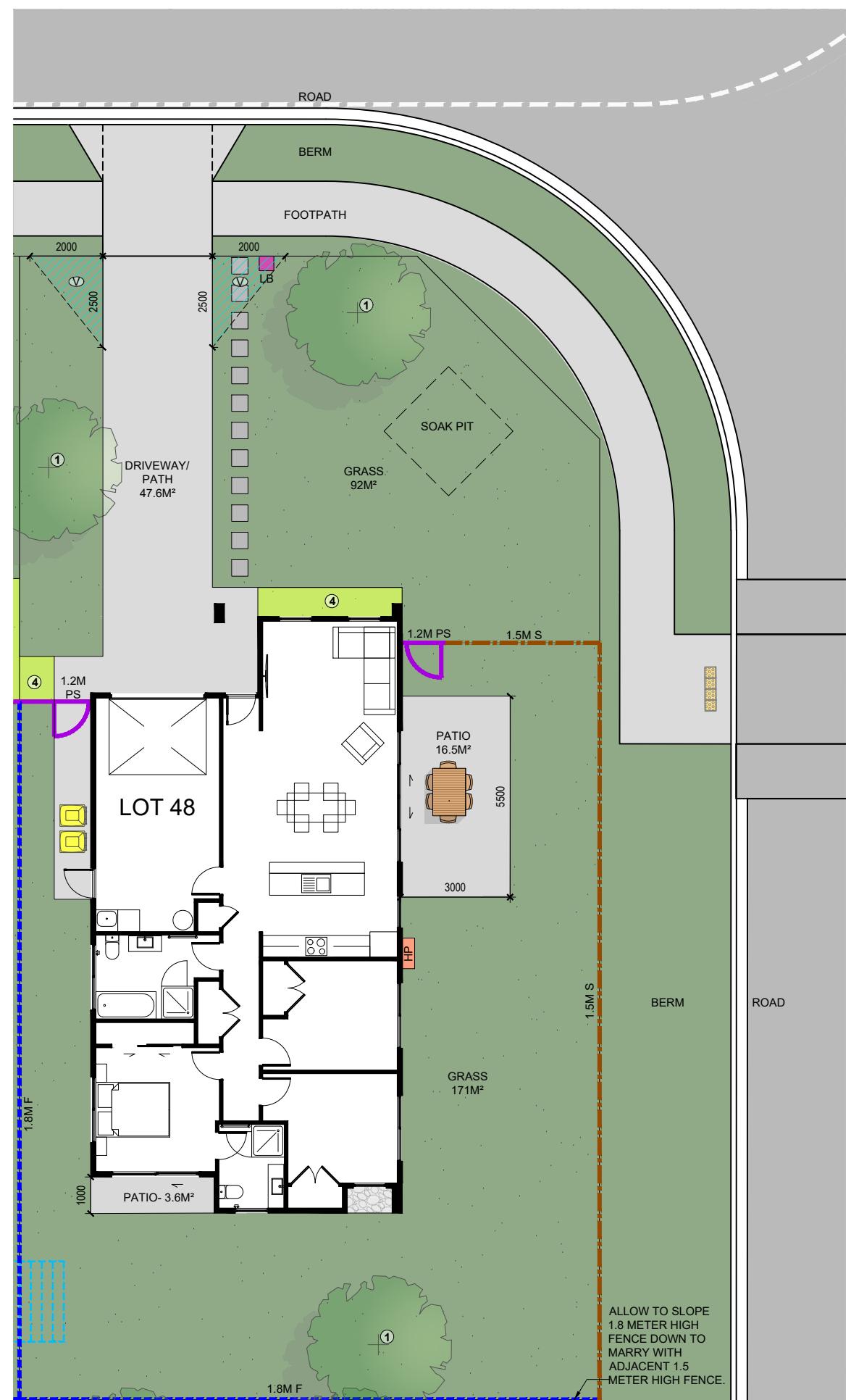
Scale: **1:50**

Drawing Sheet: **Window & Door Schedule**

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Drawing No:

501



LEGEND	
	KARAEHE - GRASS
	RAIMA- CONCRETE. BRUSH FINISH
	ROAD. FINISH BY OTHERS
	KÖWHATU- STONES (PERMEABLE)
	TYPE 1 FRUIT TREE READ IN CONJUNCTION WITH PLANTING PALETTE
	TYPE 2 SPECIMEN TREE READ IN CONJUNCTION WITH PLANTING PALETTE
	HEDGE PLANTING. READ IN CONJUNCTION WITH PLANTING PALETTE
	LOW PLANTING. READ IN CONJUNCTION WITH PLANTING PALETTE
	PAVERS (SHOWN INDICATIVELY)
1.8M F	1.8M HIGH ROUGH SAWN CLOSED BOARDED TIMBER FENCE
1.8M OS	1.8m high timber batten fence with gaps for 50% visually permeability
1.5M S	1.5M HIGH TIMBER BATTEN FENCE
	1.2M HIGH POOL STYLE GATE
1.2M PS	1.2M HIGH POOL STYLE FENCE
EX F	EXISTING FENCE. REFER NOTES FOR DETAILS
RW	RETAINING WALL (INDICATIVE. REFER ENGINEERING DOCUMENTATION FOR DETAILS).
HP	EXTERIOR HEAT PUMP UNIT. REFER ARCHITECTURAL DRAWINGS FOR DETAILS. ELECTRICIAN TO CONFIRM LOCATION ON SITE.
	IPUPARA/ HANGARUA - SERVICE AREA FOR RUBBISH/ RECYCLING BINS
LB	POUAKA RETA- LETTERBOX. MAIL SLOT 0.9M – 1M FROM THE GROUND. TOP OF LETTERBOX NOT TO EXCEED 1M TO ENSURE NO OBSTRUCTIONS TO VISIBILITY FROM DRIVEWAYS.
#	UNIT NUMBER
	WASHING LINE - RETRACTABLE OR FOLD DOWN, FIXED TO FENCE OR POSTS.
2000 	HATCHED AREA TO BE KEPT CLEAR OF OBSTRUCTIONS TO VISIBILITY AS PER AS/NZS 2890.1 (PLANTING/ LETTERBOX/ FENCE ETC TO BE 1.0M HIGH MAXIMUM).
SOAK PIT	SOAK PIT. REFER TO DOCUMENTATION BY OTHERS FOR ALL DETAILS.
REFER DOCUMENTATION BY OTHERS FOR DETAILS OF ANY	

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IN CONJUNCTION WITH THE SUBDIVISION, ARCHITECTURAL, & ENGINEERING DRAWINGS,
DRAWINGS BY OTHERS FOR RETAINING WALLS, BARRIERS WITH FALLS OVER 1M, STAIRS,
S & SITE DRAINAGE, LANDSCAPE PLANS ARE INDICATIVE AND ARE SUBJECT TO CHANGE.
HOW TO CONFIRM ALL LAYOUTS BEFORE CONSTRUCTION COMMENCES, FLOOR PLANS AND SITE
PLANS GUARDED BY OTHERS, ME DO NOT TAKE LIABILITY FOR ITS ACCURACY.

TOKOROA EAST SCHOOL SITE
MAIN ROAD, TOKOROA

FOR COUNCIL

LANDSCAPE PLAN

REV: 3 DATE: 24/07/2025	SHEET No.
SCALE (A3): 1:150	L1.48